

AGENDA

Eau Claire County

• PLANNING & DEVELOPMENT COMMITTEE •

Date: Tuesday, August 13, 2024

Time: 6:00 p.m.

Location: Eau Claire County Courthouse, 721 Oxford Ave, Room 1277, Eau Claire, Wisconsin 54703

*Event link below can be used to connect to meeting and interact (by the chair) from computer or through the WebEx Meeting smartphone app.

Join WebEx Meeting: <https://eauclairecounty.webex.com> Meeting ID: 25321987892

Password: 8UPx3TpqgF3

*Meeting audio can be listened to using this Audio conference dial in information.

Audio conference: 1-415-655-0001 Access Code: 25321987892##

For those wishing to make public comment, you must e-mail Rod Eslinger at Rod.Eslinger@eauclairecounty.gov at least 60 minutes prior to the start of the meeting.

**Please mute personal devices upon entry*

A majority of the county board may be in attendance at this meeting, however, only members of the committee may take action on an agenda item.

1. Call to Order and confirmation of meeting notice
2. Roll Call
3. Public Comment
4. Review/Approval of July 23, 2024 Meeting Minutes / Discussion – Action **Pages 3-5**
5. Public Hearings
 - a. **Proposed Ordinance: File No. 24-25/051** to rezone 5 acres +/- from RH – Rural Homes District to the A-2 Agricultural-Residential District. Owner: JTH Enterprises LLC. Applicant: Real Land Surveying. Legal: Located in the SW ¼ of the NE ¼, Section 12, Township 27 North, Range 9 West, Town of Seymour, Eau Claire County, Wisconsin. **RZN-0019-24 Pages 6-20**
 - b. **Proposed Ordinance: File No. 24-25/049** to rezone 74.75 acres +/- from A-P Agricultural District to the A-3 Agricultural District. Owner: Robert Baumgart. Applicant: Timothy Baumgart. Legal: Being all of the NW ¼ of the NE ¼ and NE ¼ of the NW ¼ except lot 1 of CSM 1800, Vol 9, P 376-377, Section 8, Township 25 North, Range 10 West, Town of Drammen, Eau Claire County, Wisconsin. **RZN-0020-24 Pages 21-44**
 - c. A conditional use permit request for cumulative area of all accessory structures to exceed 1,800 sq. ft. on a lot with an area between 1 and 2.99 acres. Owners: David & Audrey Moon. Legal: Part of the NE ¼ of the NE ¼, Section 15, Township 27 North, Range 9 West, Town of Seymour, Eau Claire County, Wisconsin. **CUP-0007-24 Pages 45-67**
 - d. **Proposed Ordinance: File No. 24-25/056** regarding the following changes to the Eau Claire County Code: To create section 18.230.170 of the code: Groundwater Protection Overlay District – City of Altoona **Pages 68-94**

Prepared by: Holly Weigand

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of individuals with disabilities through sign language, interpreters, remote access, or other auxiliary aids. Contact the clerk of the committee or Administration for assistance (715-839-5106). For additional information on ADA requests, contact the County ADA Coordinator at 839-7335, (FAX) 839-1669 or 839-4735, TTY: use Relay (711) or by writing to the ADA Coordinator, Human Resources, Eau Claire County Courthouse, 721 Oxford Avenue, Eau Claire, WI 54703.

6. Final Plat for Heritage Estates / Discussion – Action **Pages 95-120**
7. Proposed Future Agenda Items
 - a. Next scheduled meeting August 27, 2024
8. Director’s Update
9. Announcements
10. Adjourn

Prepared by: Holly Weigand

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MINUTES

Eau Claire County

• PLANNING & DEVELOPMENT COMMITTEE •

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Time: 6:00 p.m.

Location: Eau Claire County Courthouse, 721 Oxford Ave, Room 1277, Eau Claire, Wisconsin 54703

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Join WebEx Meeting: <https://eauclairecounty.webex.com> Meeting ID: 2535 850 7603

Password: XSrY3jU7gt3

*Meeting audio can be listened to using this Audio conference dial in information.

Audio conference: 1-415-655-0001 Access Code: 25358507603##

For those wishing to make public comment, you must e-mail Rod Eslinger at Rod.Eslinger@eauclairecounty.gov at least 60 minutes prior to the start of the meeting.

**Please mute personal devices upon entry*

A majority of the county board may be in attendance at this meeting, however, only members of the committee may take action on an agenda item.

Members Present: Dane Zook, James Dunning, Michele Skinner, Caleb Aichele

Members Absent: Robin Leary

Ex officio Present:

Staff Present: Rod Eslinger, Matt Michels, Ben Bublitz, Peter Strand, Zach Mohr

1. Call to Order and confirmation of meeting notice

Chair Zook called the meeting to order at 6:00 pm and confirmed with Director Eslinger that the meeting was properly noticed.

2. Roll Call Director Eslinger called the roll. Members present are noted above.

3. Public Comment - None

4. Review/Approval of July 9, 2024 Meeting Minutes / Discussion – Action

The committee reviewed the July 9, 2024 meeting minutes.

ACTION: Motion by Michele Skinner to approve the July 9, 2024, committee meeting minutes subject to amendment on page 3 (correct reminding) . Motion carried on a voice vote: 4-0-0.

5. Public Hearings

- a. **Proposed Ordinance: File No. 24-25/045** to rezone 1.027 acres +/- from RH – Rural Homes District to the C-3 Commercial Highway District. Owner: Ronald Horlacher and Randall Horlacher. Legal: Part of Lot 4 CSM 187 (Vol 1 P 243 #494619), Town of Union, Eau Claire County, Wisconsin. **RZN-0018-24**

Matt Michels, Senior Planner for Eau Claire County, introduced the petition to the committee. He indicated that the applicant is requesting to rezone 1.027 acres of land from the C-3, Highway Commercial District to the RH – Rural Homes District to sell the property for potential future commercial uses. The land uses in this area are mainly commercial uses of STH 312. Mr. Michels reviewed the zoning and future land use maps with the committee along with the aerial for the area. Mr. Michels indicated that the petition was reviewed against the town and county comprehensive plans for consistency purposes and the uses allowed in the C3 District.

On July 11, 2024, the Town of Union Town Board voted to recommend approval of the rezone petition.

Matt reviewed staff findings with the committee and gave his recommendation to approve the rezoning with the following findings:

1. The proposed rezoning is substantially consistent with the intent and purpose of the Eau Claire County Future Land Use plan.
2. The property is surrounded by commercial and industrial uses, and residential use is generally incompatible with surrounding land uses and high volumes of commercial truck traffic.
3. No additional lots would be created with this rezoning.

No one spoke in favor or against the petition.

ACTION: Motion by Michele Skinner to approve the Proposed Ordinance: File No. 24-25/045. Motion carried on a roll call vote: 4-0-0.

6. GIS Program Update

Peter Strand, Eau Claire County's GIS Administrator, gave an update to the committee regarding GIS programming and projects. He noted how he's been working with the health department on siting of well location, the communication center on NG911 updates, the acquisition of historical aerials into the system, creating printable section maps, and partnering with county departments of GIS projects.

7. Drone Dredging Project / Discussion (addendum)

Zach Mohr, Eau Claire County's Conservation Engineering Coordinator gave an update on the partnership with the Lake Districts to use the drone to acquire data related to the dredging projects on Lake Altoona and Lake Eau Claire.

8. Department Fee's / Discussion – Action

Director Eslinger reviewed the proposed 2025 P&D fee schedule with the committee.

ACTION: Motion by James Dunning to approve the fees and move them forward to Corporation Counsel. Motion carried on a voice vote: 4-0-0.

9. Committee Review – Determination of uses not listed in the County Code (Chapter 18.33.030). The determination is to allow the unfinished side of a fence to face neighboring properties. Located in part of SE ¼ of the SW ¼ of section 22, Township 27 North, Range 8 West, Town of Washington, Eau Claire County, WI. (Gaede) / Discussion – Action

Ben Bublitz, Eau Claire County Land Use Manager provided an overview of the applicant's request for a determination to allow the unfinished side of their fence to face neighboring properties. Ben reviewed his memo with the committee, explained how the department became aware of the situation and then summarized the ordinance requirements for the committee.

Andrew and Micaela Gaede, applicants and property owners, explained why they are asking for the committee to relax the county's fence standards for their family situation. They further explained why they had their contractor construct the fence with the smooth side facing inwards. Andrew mentioned that they worked with county DHS staff to fund the project. He further noted that the contractor had installed cedar pickets to hide the steel posts and to give the fence a more finished look.

No one else spoke.

ACTION: Motion by James Dunning to accept the unfinished side of a fence to face neighboring properties and to keep the non-scalable, smooth side of the fence to face inward for reasonable accommodation for persons with disabilities that reside at the residence. Motion carried on a voice vote: 4-0-0.

10. Preliminary 2025 Budget Review / Discussion

Director Eslinger gave the committee a preliminary review of the 2025 budget numbers ahead of the scheduled joint meeting with Finance and Budget.

11. Review of June bills / Discussion

The committee reviewed the June bills.

12. Proposed Future Agenda Items

- a. Next scheduled meeting August 13, 2024

13. Director's Update

Mr. Eslinger updated the committee on the recruitment of Environmental Engineer position.

14. Announcements

Director Eslinger reminded the committee of the joint budget meeting at 4 pm on August 13th and the UniverCity/Eau Claire County – Day at the Lake Event on August 14th.

15. Adjourn

ACTION: Meeting adjourned by unanimous consent at 7:50 PM.

Respectfully Submitted,

Rodney Eslinger
Clerk, Committee on Planning & Development



EAU CLAIRE COUNTY PLANNING STAFF RECOMMENDATION

REZONE NUMBER: RZN-0019-24 **COMPUTER NUMBER:** 020110505000

PUBLIC HEARING DATE: August 13, 2024

STAFF CONTACT: Matt Michels, Senior Planner

OWNER: JTH Enterprises, 5972 Heathermoor Ln, Eau Claire, WI 54703

AGENT: Real Land Surveying, 1356 International Dr, Eau Claire, WI 54701

REQUEST: Rezone a 5-acre +/- lot in the proposed *Heritage Estates* subdivision (Lot 4) from RH - Rural Homes to the A-2 Agriculture-Residential District to operate a repair business for off-highway vehicles, which would be approved by a separate conditional use permit for a cottage industry. Cottage Industries are not permitted in the RH Zoning District.

LOCATION: North side of County Hwy Q approximately one-quarter mile west of County Hwy P

LEGAL DESCRIPTION: Portion of the SW ¼ of the NE ¼, Section 12, T27N, R9W, Town of Seymour, Eau Claire County, Wisconsin (Complete legal description attached).

RECOMMENDATION Denial of request based on findings outlined on Page 4 of this report.

BACKGROUND

SITE CHARACTERISTICS:

- The property to be rezoned is mostly wooded.
- The property is generally flat and does not contain any environmentally sensitive areas.

EXISTING ZONING DISTRICT:

RH Rural Homes District. The RH Rural Homes District is established to “*provide for suburban large-lot development with individual on-site water and sewage disposal facilities.*”

Permitted principal uses include single-family detached residential dwellings. As noted, cottage industries are not allowed.

REQUESTED ZONING DISTRICT:

A-2 Agriculture-Residential District. This district is established to “*provide an area for limited residential and hobby farm development in a rural atmosphere.*”

Examples of permitted uses include agricultural uses and keeping and raising of animals, including livestock facilities up to 150 animal units. Examples of conditional uses include sawmills; bulk storage, processing, and/or distribution of local agricultural products; kennels, daycare & boarding facilities; private racetracks, RV parks & campgrounds; and commercial auctions and flea markets.

ZONING/LAND USE CONTEXT:

LOCATION	ZONING	LAND USE
Subject	RH	Undeveloped woodland
North	RH	Proposed <i>Heritage Estates</i> Outlot 1
East	RH	Vacant land
South	RH	Proposed <i>Heritage Estates</i> Lot 3 (future single-family residential)
West	RH	Proposed <i>Heritage Estates</i> Lot 5 (future single-family residential)

COMPREHENSIVE PLANS:

The Eau Claire County Future Land Use Map and the Town of Seymour Future Land Use Map both include the property in the Rural Residential (RR) planning area. Following are descriptions of the intent of the applicable County and Town comprehensive plan future land use categories and applicable policies.

Eau Claire County:

- Rural Residential Intent and Description: *“The primary intent of this classification is to identify areas suitable for future non-farm residential development. Rural Residential areas include lands that are delineated as existing residential properties or vacant platted areas. In addition, some undeveloped land has been designated for RR development where subdivision expansion is likely to occur. These additional areas tend to be adjacent to existing rural subdivisions or where local roads and utilities exist to efficiently and economically serve the area.”*
- Applicable Policies: The following policies are applicable to this rezoning petition:
 1. *The preferred housing density is one (1) unit per two (2) acres; however, local comprehensive plans may be more or less restrictive than this guideline and generally range from one (1) unit per two (2) acres to one (1) unit per 10 acres.*
 - ...
 2. *For those Towns under County Zoning, the following Eau Claire County Zoning Districts will be considered for approval within RR areas: RH Rural Homes District and the R-1-L Single Family Residential.*

Note that while neither the County nor the town comprehensive plan specifically list A-2 Agricultural-Residential as a zoning district to be considered for approval, past rezoning petitions for A-2 in the RR area have been approved based on the principle that the planning areas primarily establish maximum permissible density and intensity of development, and that lower density development, if demonstrated to be compatible with nearby uses and consistent with the intent of the planning area, may be approved.

Town of Seymour:

- Rural Residential Intent and Description: *“The primary intent of this classification is to identify areas suitable for future rural residential neighborhoods. Rural Residential areas include lands with existing residential properties or vacant platted areas. In addition, some undeveloped land has been designated for RR development where subdivision expansion is likely to occur. These additional areas tend to be adjacent to existing rural subdivisions or where local roads and utilities exist to efficiently and economically serve the area.”*

- Applicable Policies: The following policies are applicable to this rezoning petition:
 1. *Within the RR classification, limit new development to a maximum gross density of one residential dwelling unit per two (2) acres held in single ownership.*
 - ...
 4. *The following Eau Claire County zoning districts will be considered for approval within RR areas: RH Rural Homes District and the R-1-L Single Family Residential Large Lot (with approved conservation subdivisions).*

Eau Claire County Farmland Preservation Plan

The property is not included in the Farmland Preservation Plan Map since it is not planned or zoned for agricultural uses.

ANALYSIS

When rezoning land, a finding should be made that the purpose of the proposed zoning district and the uses that are allowed in that district are appropriate for the location; and that the rezoning will uphold the purpose of the zoning ordinance. A finding should also be made that the rezone is consistent with the County’s Comprehensive Plan.

Town Board Action: The Seymour Town Board consider the rezoning petition on Monday, July 8, 2024 and recommended approval (3-0 vote). There were no speakers in opposition to the rezoning petition.

The rezoning petition has been evaluated for consistency with the purpose of the A-2 District and the uses allowed in the district. The request is generally consistent with the purpose of the zoning code based on the following findings:

- The intent of the Rural Residential Future Land Use area is, “*to identify areas suitable for future non-farm residential development*”, which is not consistent with a number of the permitted, accessory, and conditional uses of the Agricultural-Residential (A-2) Zoning District.

CONCLUSION

The rezone petition has been evaluated for consistency with the following:

- Eau Claire County Comprehensive Plan future land use designation
- Eau Claire County Comprehensive Plan goals, objectives and policies
- Eau Claire County Farmland Preservation Plan
- Eau Claire County Zoning Ordinance, including purpose of the zoning code and allowable uses in the A-2 District

In addition, the following factors have also been considered:

- Input of surrounding property owners. No correspondence in support of or opposition to the proposed rezoning has been received, to date.

FINDINGS

Findings in Favor:

1. The Seymour Town Board recommended unanimous approval of the rezoning petition at the July 8 meeting (3-0 vote).
2. There are several A-2 zoned parcels in proximity to the subject property.
3. The impacts of the proposed Cottage Industry would be evaluated during the Conditional Use Permit review process and mitigation measures, such as screening and limitations on the maximum number of vehicles, equipment, etc. could be established by the Committee on Planning and Development to potentially reduce adverse impacts on future residents.

Findings Against:

1. As previously stated, the applicant proposes to operate a business to repair off-highway vehicles, which would be approved by a separate conditional use permit for a cottage industry. Staff is concerned that the proposed non-residential accessory use, which is permitted in the A-2 District where lots are at least 5 acres, is potentially inappropriate in the *Heritage Estates* residential subdivision composed of 1-2 acre lots, where the proposed Cottage Industry would not be permitted.
2. Some of the permitted and conditional uses in the A-2 Zoning District may be incompatible with the residential use of the proposed *Heritage Estates* subdivision. As discussed, examples of permitted uses include agricultural uses and keeping and raising of animals, including livestock facilities up to 150 animal units. Examples of conditional uses include sawmills; bulk storage, processing, and/or distribution of local agricultural products; kennels, daycare & boarding facilities; private racetracks, RV parks & campgrounds; and commercial auctions and flea markets.
3. The proposed rezoning would create an island of A-2 zoning surrounded by RH zoning, which, as noted, could be incompatible with single family residential uses and character and could have adverse impacts on surrounding residential properties.



Department of Planning and Development
 Eau Claire County Courthouse
 721 Oxford Avenue, Room 3344
 Eau Claire, Wisconsin 54703
 715-839-4741

Application Accepted:	07/02/2024
Accepted By:	Matt Michels
Receipt Number:	077991
Town Hearing Date:	07/08/24
Scheduled Hearing Date:	08/13/2024
Application No:	RZN-0019-24
Application Status:	Applied

Rezoning Petition

Owner/Applicant Name(s):
Owner: JTH ENTERPRISES LLC
Applicant: Real Land Surveying, 1356 International Dr, Eau Claire, WI 54701
Telephone: 715-514-4116 **Email:** jskaw@rlswi.com

RECEIVED

JUL 03 2024

COUNTY CLERK

Site Address(es): 5606 OLSON DR **Property Description:** Sec 12 Twn 27 Rge 09
 Town of Seymour

Zoning District(s): RH - Rural Homes District **Lot Area(s) - Acres:** 29.50 **Overlay District(s):**

PIN: 1802022709121300001 **Legal (partial):** SW-NE EX 1/2 AC IN THE SE COR OF THE SW-NE, EX THE S 33' FOR RD R/W, EX R/W

Pursuant to the procedure described in Wisconsin Statutes Section 59.69(5), I hereby petition the Eau Claire County Board of Supervisors to amend the following Zoning District from:

At the public hearing, the applicant may appear in person or through an agent or an attorney of his/her choice. The applicant/agent/attorney may present testimony, evidence, and arguments in support of the application. All site plans, pictures, etc. become the property of the Department, and will remain in the file.



Department of Planning and Development
 Eau Claire County Courthouse
 721 Oxford Avenue, Room 3344
 Eau Claire, Wisconsin 54703
 (715) 839-4741

Office Use Only

Application Accepted:	7/3/24
Accepted By:	mm
Application Number:	RZN-0019-24
Town Hearing Date:	7/8/24
Scheduled Hearing Date:	8/13/24

REZONING APPLICATION

Pursuant to the procedure described in Wisconsin Statutes Section 59.69(5), I hereby petition the Eau Claire County Board of Supervisors to amend the Zoning District from:

Existing Zoning District: RH	Proposed Zoning District(s): A2
Acres to be rezoned: 5	

Property Owner Name: JTH Enterprises	Phone# 715-271-7158
Mailing Address: 5972 Heathermoor Lane, Eau Claire, WI 54703	
Email Address: joshua_wnh@yahoo.com	

Agent Name: Real Land Surveying	Phone# 715-514-4116
Mailing Address: 1356 International Drive, Eau Claire, WI 54701	
Email Address: jskaw@rlswi.com	

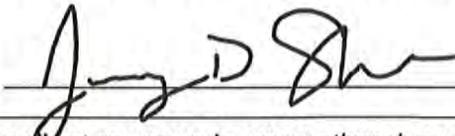
SITE INFORMATION

Site Address: 5606 Olson Drive	
Property Description: SW ¼ NE ¼ Sec. 12, T27 N, R9 W, Town of Seymour	
Zoning District: RH	Code Section(s):
Overlay District: Check Applicable	<input type="checkbox"/> Shoreland <input type="checkbox"/> Floodplain <input type="checkbox"/> Airport <input type="checkbox"/> Wellhead Protection <input type="checkbox"/> Non-Metallic Mining
Computer #(s): or PIN #(s):	1802022709121300001

Applications will not be accepted until the applicant has met with department staff to review the application and determine if all necessary information has been provided. All information from the checklist must be included.

<input type="checkbox"/> Complete attached information sheet	<input type="checkbox"/> Confirmed with the Town their submittal deadline and process.
<input type="checkbox"/> Provide legal description of property to be rezoned	<input type="checkbox"/> Provide \$630.00 application fee (non-refundable), (\$550.00 application processing fee and \$80.00 mapping surcharge fee). Send application to landuse@eauclairecounty.gov or to the address above.

I certify by my signature that all information presented herein is true and correct to the best of my knowledge. I give permission for the staff of the Eau Claire County Department of Planning and Development to enter my property for the purpose of collecting information to be used as part of the public hearing process. I further agree to withdraw this application if substantive false or incorrect information has been included.

Owner/Agent Signature:  Date 07/01/24

At the public hearing, the applicant may appear in person or through an agent or an attorney of his/her choice. The applicant/agent/attorney may present testimony, evidence, and arguments in support of the application. All site plans, pictures, etc. become the property of the Department, and will remain in the file.

REZONING APPLICATION CHECKLIST

Applications are due by Tuesday at 12:00 PM three weeks prior to the Committee on Planning and Development meeting. The application must include the items listed below. After a preliminary review, additional information may be needed. A hearing will not be scheduled until the application is deemed complete. Applications are considered complete when all materials and associated fees are received and approved by staff.

Required Application Items:

- Application must be signed by the property owner(s)
- A legal description of land and address of land to be rezoned
- Complete the attached supplemental rezoning information sheet
 - Describe the reason for the request
 - Describe how the proposed zoning district and the uses allowed in that district are appropriate for the selected location, and how the proposed change in zoning will uphold the purpose of the zoning ordinance
 - Explain and justify why this particular property is under consideration for rezoning
 - For rezoning requests from A-P to any zoning district other than the AR district must consider the factors in Section 18.32.055 A. – D.
 - For rezoning requests from the A-P to the AR zoning district must consider the factors in Section 18.06.050 A. – D.
 - For rezoning requests out of the Shoreland-wetland district must consider Section 18.19.100 B

SUPPLEMENTAL INFORMATION FOR A REZONING PETITION

In order to process your application as quickly as possible, please fill in all of the sections below that are applicable to your request, and attach all appropriate maps or plans described below that are relevant to your request.

Describe the reason(s) for your rezoning request:

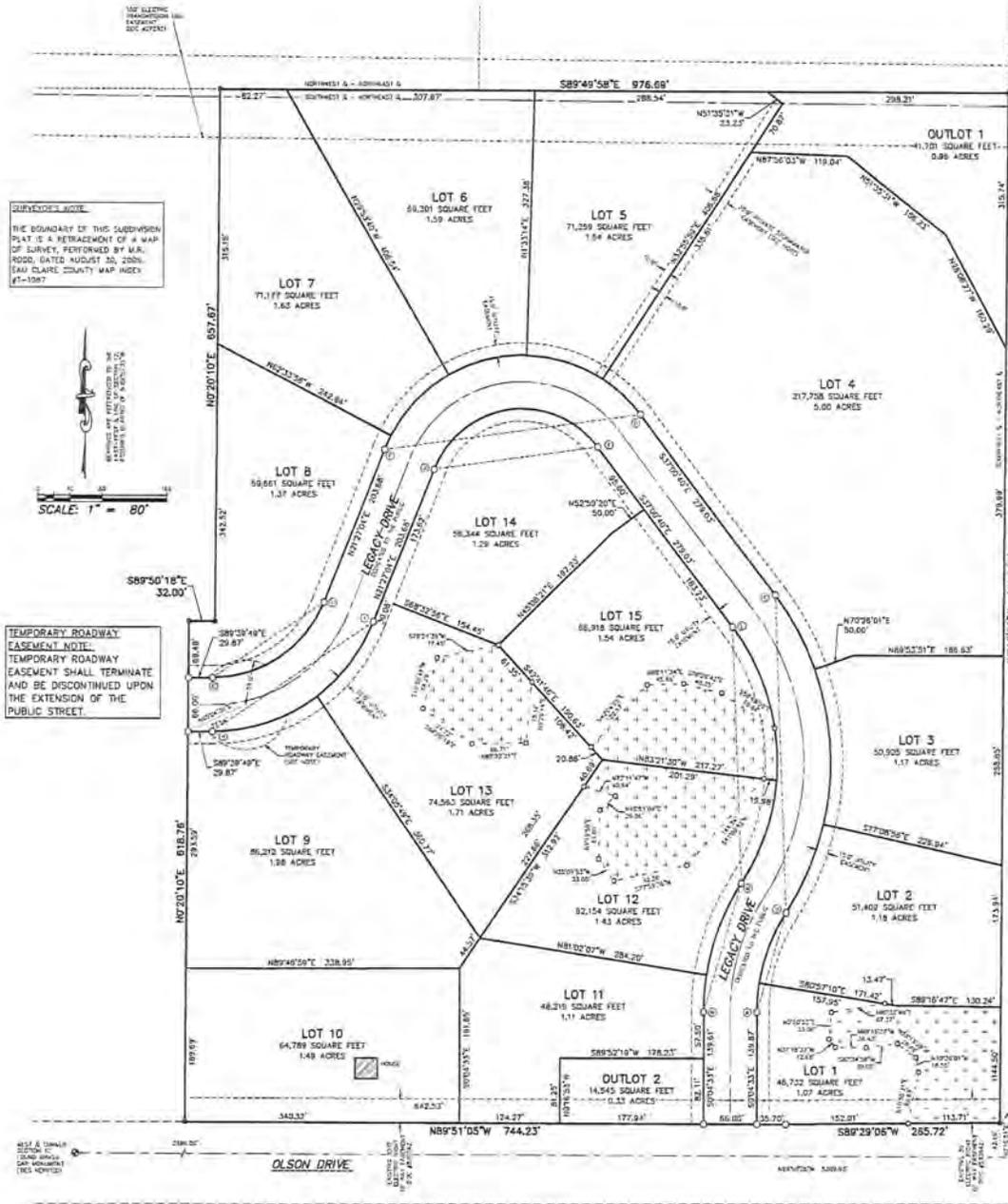
The request to zone the proposed 5-acre (proposed) lot 4, Heritage Acres to A2 is being requested with intentions of running a home based business that falls under the zoning code of 18.23.30 "cottage industries". Specifically, under 18.23.035 It states, "The repair of motor vehicles, small engines, and boat repair including the construction and operation of racing machines such as stock cars, snowmobiles, and tractors is considered a cottage industry." The owner would like to repair off-highway vehicles from my home. If approved to re-zone to A2, the owners understand and are aware that the next step for would be to obtain a conditional use permit.

When evaluating a rezoning petition, staff from the Eau Claire County Department of Planning and Development consider whether the purpose of the proposed zoning district and the uses allowed in the district are appropriate for the selected location. Staff also considers whether the change in zoning will uphold the purpose of the zoning ordinance, which is to separate incompatible land uses from one another, to maintain public health and safety, to protect and conserve natural resources, to prevent overcrowding, to preserve property values, and to maintain the general welfare of the citizens. Please describe how the proposed zoning district and the uses allowed in that district are appropriate for the selected location, and how the proposed change in zoning will uphold the purpose of the zoning ordinance.

The A2 zoning district is not uncommon in this area of Seymour. Within 0.50 miles of the site, there are 12 different parcels that are also zoned A2. As this future lot contain a large/mature stand of white pines, the larger setbacks (primary and accessory structures) of the A2 district will help protect these trees and the intrinsic value they possess.

This would not be considered spot zoning as the A2 zoning district is still considered a low-density residential district, but with agricultural characteristics.

Rezone description: Being all of lot 4 of Heritage Estates



SURVEYOR'S NOTE:
THE BOUNDARY OF THIS SUBDIVISION PLAT IS A RETRACEMENT OF A MAP OF SURVEY, PERFORMED BY W.R. ROOS (DATED AUGUST 30, 2006) (EAU CLAIRE COUNTY MAP INDEX #1-1087)

SCALE: 1" = 80'

TEMPORARY ROADWAY EASEMENT NOTE:
TEMPORARY ROADWAY EASEMENT SHALL TERMINATE AND BE DISCONTINUED UPON THE EXTENSION OF THE PUBLIC STREET.

OUTLOT NOTE:
OUTLOTS 1 AND 2 WILL BE JOINTLY OWNED BY ALL LOTS. DURING 1/16TH DIMENSION, OUTLOTS 1 AND 2 ARE NOT APPROVED FOR BUILDING PURPOSES. NO LAND USE OR SANITARY PERMITS FOR STRUCTURES WILL BE ISSUED UNTIL THESE LOTS MEET ALL OF THE CRITERIA FOR A BUILDABLE LOT, AS DEFINED BY TITLES B, 17 AND 18 OF THE EAU CLAIRE COUNTY CODE.

PRIVATE STORMWATER EASEMENTS:
PRIVATE STORMWATER EASEMENTS ARE FOR THE BENEFIT OF LOTS 1-15 AND ARE MAINTAINED BY THE HOMEOWNERS ASSOCIATION FOR THIS SUBDIVISION. SAID EASEMENT IS FOR THE CONVEYANCE OF STORMWATER AND THE MAINTENANCE, ACCESS, AND STORAGE OF STORMWATER FACILITIES.

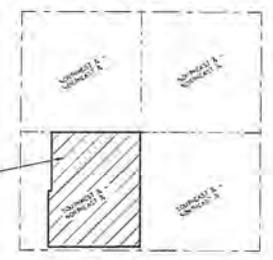
UTILITY EASEMENTS:
UTILITY EASEMENTS ARE FOR THE USE OF THOSE GRANTED PERMISSION IN THE UTILITY EASEMENT PROVISIONS ON SHEET 2. NO UTILITY LINES OR FACILITIES SHALL BE PLACED WITHIN 3 FEET OF ANY LOT CORNER.

DATE	LOT NO.	LENGTH	BEARING	WIDTH	AREA	TO BE	TO	TO	TO
A-B	LOT 1	78.17	S23.24°E	62.84	4925.74	S23.24°E	62.84	S23.24°E	62.84
	LOT 2	25.81	S23.24°E	62.84	1645.26	S23.24°E	62.84	S23.24°E	62.84
	LOT 3	62.84	S23.24°E	62.84	3951.04	S23.24°E	62.84	S23.24°E	62.84
	LOT 4	119.04	S23.24°E	62.84	7600.00	S23.24°E	62.84	S23.24°E	62.84
	LOT 5	119.04	S23.24°E	62.84	7600.00	S23.24°E	62.84	S23.24°E	62.84
	LOT 6	119.04	S23.24°E	62.84	7600.00	S23.24°E	62.84	S23.24°E	62.84
	LOT 7	119.04	S23.24°E	62.84	7600.00	S23.24°E	62.84	S23.24°E	62.84
	LOT 8	119.04	S23.24°E	62.84	7600.00	S23.24°E	62.84	S23.24°E	62.84
	LOT 9	119.04	S23.24°E	62.84	7600.00	S23.24°E	62.84	S23.24°E	62.84
	LOT 10	119.04	S23.24°E	62.84	7600.00	S23.24°E	62.84	S23.24°E	62.84
	LOT 11	119.04	S23.24°E	62.84	7600.00	S23.24°E	62.84	S23.24°E	62.84
	LOT 12	119.04	S23.24°E	62.84	7600.00	S23.24°E	62.84	S23.24°E	62.84
	LOT 13	119.04	S23.24°E	62.84	7600.00	S23.24°E	62.84	S23.24°E	62.84
	LOT 14	119.04	S23.24°E	62.84	7600.00	S23.24°E	62.84	S23.24°E	62.84
	LOT 15	119.04	S23.24°E	62.84	7600.00	S23.24°E	62.84	S23.24°E	62.84
	OUTLOT 1	119.04	S23.24°E	62.84	7600.00	S23.24°E	62.84	S23.24°E	62.84
	OUTLOT 2	119.04	S23.24°E	62.84	7600.00	S23.24°E	62.84	S23.24°E	62.84

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats, as provided by a s. 236.12, Wis. Stats.

Certified _____
20 _____
Department of Administration

LOCATION SKETCH OF THE NORTHEAST 1/4 OF SECTION 12 (WIS. 16 5424)



LEGEND

- FOUND 1" DIAMETER IRON PIPE
- SET 1" O.D. x 18" IRON PIPE
- SET 1-1/2" x 18" REBAR
- WELDING 4.20 POUNDS/LINEAR FOOT
- SET 1" O.D. x 18" IRON PIPE
- WELDING 1.13 POUNDS/LINEAR FOOT
- AT ALL OTHER LOT CORNERS
- ENVIRONMENTALLY SENSITIVE AREAS (SEE NOTE)

ENVIRONMENTALLY SENSITIVE AREAS NOTE:
NO DEVELOPMENT OR LAND DISTURBANCE ACTIVITY SHALL BE ALLOWED WITHIN ANY ENVIRONMENTALLY SENSITIVE AREAS EXCEPT AFTER ISSUANCE OF A PERMIT FROM THE COUNTY. SUCH PERMIT DOES NOT BE ISSUED UNLESS THE APPLICANT DEMONSTRATES THE PROPOSED DEVELOPMENT OR LAND DISTURBANCE ACTIVITY IS ESSENTIALLY ALLOWED UNDER ANY OF THE FOLLOWING:
- 312 F 17
- 312 F 18

LANDOWNER/SUBDIVIDER:

- JTH ENTERPRISES
- 5605 BLOWN DRIVE
- EAU CLAIRE, WI 54701

APPROVING AUTHORITIES:

- CITY OF EAU CLAIRE
- TOWN OF SEWADUR
- EAU CLAIRE COUNTY

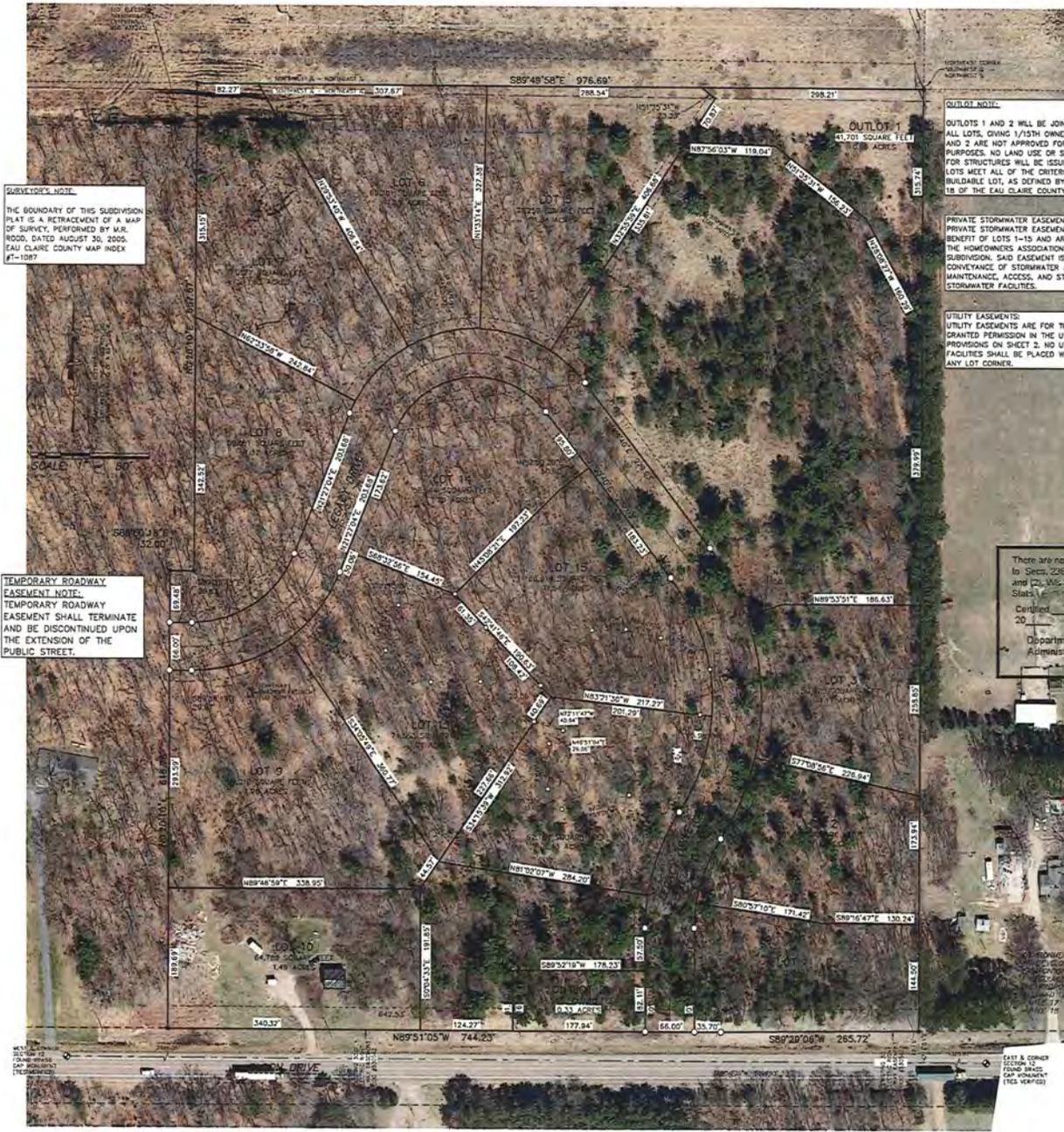
OBJECTING AUTHORITIES:

- DEPARTMENT OF ADMINISTRATION

SURVEYOR:

- PETER J. GARTMANN R.L.S. NO. 2278
- REAL LAND SURVEYING
- 1334 INTERNATIONAL DRIVE
- EAU CLAIRE, WI 54701

HERITAGE ESTATES
LOCATED IN THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4,
SECTION 12, TOWNSHIP 27 NORTH, RANGE 9 WEST,
TOWN OF SEYMOUR, EAU CLAIRE COUNTY, WISCONSIN



SURVEYOR'S NOTE:
THE BOUNDARY OF THIS SUBDIVISION PLAT IS A RETRACEMENT OF A MAP OF SURVEY, PERFORMED BY M.R. ROSS, DATED AUGUST 30, 2005, EAU CLAIRE COUNTY MAP INDEX #1-1087

TEMPORARY ROADWAY EASEMENT NOTE:
TEMPORARY ROADWAY EASEMENT SHALL TERMINATE AND BE DISCONTINUED UPON THE EXTENSION OF THE PUBLIC STREET.

OUTLOT NOTE:
OUTLOTS 1 AND 2 WILL BE JOINTLY OWNED BY ALL LOTS, GIVING 1/15TH OWNERSHIP. OUTLOTS 1 AND 2 ARE NOT APPROVED FOR BUILDING PURPOSES. NO LAND USE OR SANITARY PERMITS FOR STRUCTURES WILL BE ISSUED UNTIL THESE LOTS MEET ALL OF THE CRITERIA FOR A BUILDABLE LOT, AS DEFINED BY TITLES, R, 17 AND 18 OF THE EAU CLAIRE COUNTY CODE.

PRIVATE STORMWATER EASEMENTS:
PRIVATE STORMWATER EASEMENTS ARE FOR THE BENEFIT OF LOTS 1-15 AND ARE MAINTAINED BY THE HOMEOWNERS ASSOCIATION FOR THIS SUBDIVISION. SAID EASEMENT IS FOR THE CONVEYANCE OF STORMWATER AND THE MAINTENANCE, ACCESS, AND STORAGE OF STORMWATER FACILITIES.

UTILITY EASEMENTS:
UTILITY EASEMENTS ARE FOR THE USE OF THOSE GRANTED PERMISSION IN THE UTILITY EASEMENT PROVISIONS ON SHEET 2. NO UTILITY LINES OR FACILITIES SHALL BE PLACED WITHIN 3 FEET OF ANY LOT CORNER.

There are no objections to this plat with respect to Sheets 226.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats., as provided by s. 236.12, Wis. Stats.
 Contact: [Signature]
 Department of Administration

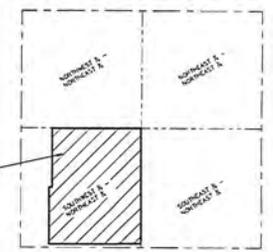
- LEGEND**
- FOUND 1" OUTSIDE DIAMETER IRON PIPE
 - SET 1" O.D. x 18" IRON PIPE
 - WEIGHING 1.13 POUNDS/LINEAR FOOT
 - SET 1-1/4" x 18" REBAR
 - WEIGHING 4.30 POUNDS/LINEAR FOOT
 - SET 1" O.D. x 18" IRON PIPE
 - WEIGHING 1.13 POUNDS/LINEAR FOOT AT ALL OTHER LOT CORNERS.
 - ENVIRONMENTALLY SENSITIVE AREAS (SEE NOTE)

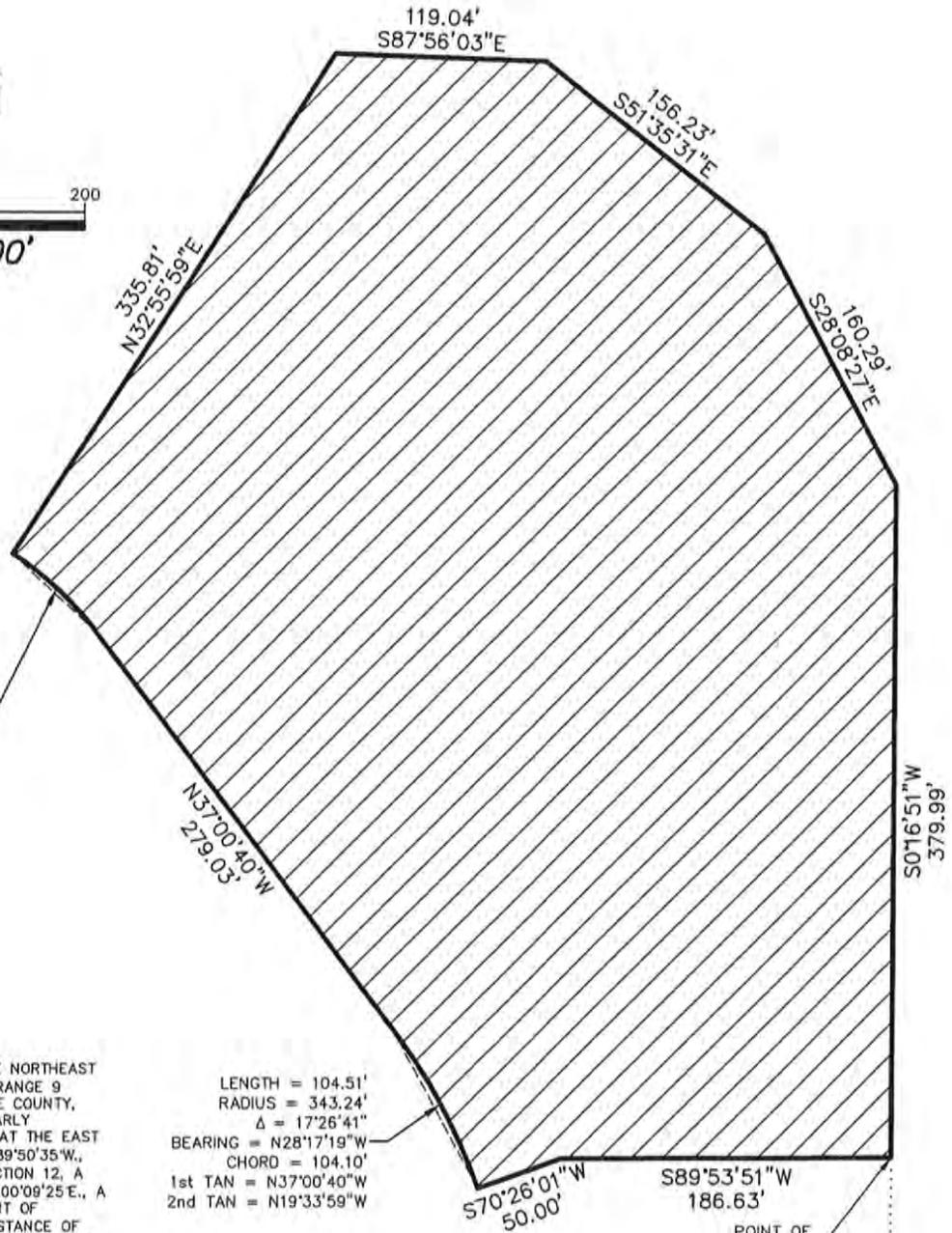
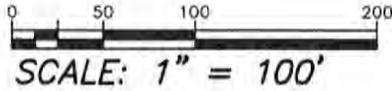
ENVIRONMENTALLY SENSITIVE AREAS NOTE:
NO DEVELOPMENT OR LAND DISTURBANCE ACTIVITY SHALL BE ALLOWED WITHIN ANY ENVIRONMENTALLY SENSITIVE AREAS EXCEPT AFTER ISSUANCE OF A PERMIT FROM THE DEPARTMENT OF NATURAL RESOURCES. SUCH PERMIT ONLY TO BE ISSUED IF THE OWNER DEMONSTRATES PROPOSED DEVELOPMENT OR LAND DISTURBANCE ACTIVITY IS EXPRESSLY PROHIBITED BY ANY OF THE FOLLOWING:

- LANDOWNER/SUBDIVIDER:**
 - JTH ENTERPRISES
 - 3608 OLSON DRIVE
 - EAU CLAIRE, WI 54701
- APPROVING AUTHORITIES:**
 - CITY OF EAU CLAIRE
 - TOWN OF SEYMOUR
 - EAU CLAIRE COUNTY
- OBJECTING AUTHORITIES:**
 - DEPARTMENT OF ADMINISTRATION
- SURVEYOR:**
 - PETER J. GARTMANN R.L.S. No. 2279
 - REAL LAND SURVEYING
 - 1328 INTERNATIONAL DRIVE
 - EAU CLAIRE, WI 54701

CURVE TABLE								
CURVE	LOT NO.	LENGTH	RADIUS	DELTA	CHD	CHD BR	1ST TAN	2ND TAN
A-B	126.17	223.96	832.93747	126.87	54827377M	53746477M	50970337M	
LOT 1	20.98	223.96	80973277	20.82	50429277M			
LOT 2	82.97	223.96	82290277	82.24	52575277M			
B-C	418.20	343.24	88949277	382.80	52575277M	53700477M	53246477M	
LOT 2	119.59	343.24	81974277	118.98	52249357M			
LOT 3	184.20	343.24	83225277	181.62	53271277M			
LOT 4	104.50	343.24	81776477	104.10	52917777M			
D-E	288.10	183.00	12722777	288.30	54873277M	527270477M	54750477M	
LOT 4	84.08	183.00	82252277	83.20	54722277M			
LOT 5	100.22	183.00	83122477	99.10	52742477M			
LOT 6	106.44	183.00	83123477	99.10	52749477M			
LOT 7	104.33	183.00	83240777	102.84	54246777M			
LOT 8	181.07	183.00	82536777	181.00	52926277M			
F-G	176.22	183.00	84523277	186.20	52523277M	589294877M	52727277M	
H-I	254.00	213.00	86853277	248.84	52523277M	589294877M	52727277M	
LOT 9	139.25	213.00	83220277	137.26	52722277M			
LOT 10	116.24	213.00	83117277	114.89	53270277M			
J-K	244.10	197.00	12127777	254.20	54871277M	52727277M	53700477M	
LOT 11	222.87	197.00	88470277	221.24	52722277M	53700477M	52946477M	
LOT 12	200.30	197.00	84724277	196.02	54871277M			
LOT 13	137.01	197.00	82820277	136.10	51870777M			
M-N	166.45	288.90	83252777	164.10	51822277M	53246477M	50970337M	
LOT 14	100.70	288.90	82320277	118.82	52252277M			
LOT 15	45.18	288.90	86922277	45.77	50429277M			

LOCATION SKETCH OF THE NORTHEAST 1/4 OF SECTION 12 (NOT TO SCALE)





LENGTH = 64.06'
 RADIUS = 183.00'
 $\Delta = 20^{\circ}03'22''$
 BEARING = N47°02'20"W
 CHORD = 63.73'
 1st TAN = N57°04'01"W
 2nd TAN = N37°00'40"W

LENGTH = 104.51'
 RADIUS = 343.24'
 $\Delta = 17^{\circ}26'41''$
 BEARING = N28°17'19"W
 CHORD = 104.10'
 1st TAN = N37°00'40"W
 2nd TAN = N19°33'59"W

REZONE DESCRIPTION:

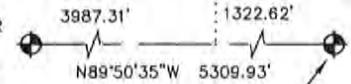
LOCATED IN THE SOUTHWEST $\frac{1}{4}$ OF THE NORTHEAST $\frac{1}{4}$, SECTION 12, TOWNSHIP 27 NORTH, RANGE 9 WEST, TOWN OF SEYMOUR, EAU CLAIRE COUNTY, WISCONSIN AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE EAST $\frac{1}{4}$ CORNER OF SECTION 12; THENCE N.89°50'35"W., ALONG THE EAST-WEST $\frac{1}{4}$ LINE OF SECTION 12, A DISTANCE OF 1322.62 FEET; THENCE N.00°09'25"E., A DISTANCE OF 619.43 FEET TO THE POINT OF BEGINNING; THENCE S.89°53'51"W., A DISTANCE OF 186.63 FEET; THENCE S.70°26'01"W., A DISTANCE OF 50.00 FEET; THENCE 104.51 FEET ALONG THE ARC OF A CURVE CONCAVE SOUTHWESTERLY, RADIUS OF 343.24 FEET, CENTRAL ANGLE OF 017°26'41"; AND A CHORD BEARING AND DISTANCE OF N.28°17'19"W., 104.10 FEET; THENCE N.37°00'40"W., A DISTANCE OF 279.03 FEET; THENCE 64.06 FEET ALONG THE ARC OF A CURVE CONCAVE SOUTHWESTERLY, RADIUS OF 183.00 FEET, CENTRAL ANGLE OF 020°03'22"; AND A CHORD BEARING AND DISTANCE OF N.47°02'20"W., 63.73 FEET; THENCE N.32°55'59"E., A DISTANCE OF 335.81 FEET; THENCE S.87°56'03"E., A DISTANCE OF 119.04 FEET; THENCE S.51°35'31"E., A DISTANCE OF 156.23 FEET; THENCE S.28°08'07"E., A DISTANCE OF 160.29 FEET; THENCE S.00°16'51"W., A DISTANCE OF 379.99 FEET TO THE POINT OF BEGINNING.

LEGEND



AREA TO REZONE FROM RH \rightarrow A2
 (5.0 ACRES)

WEST $\frac{1}{4}$ CORNER
 SECTION 12
 FOUND BRASS
 CAP MONUMENT



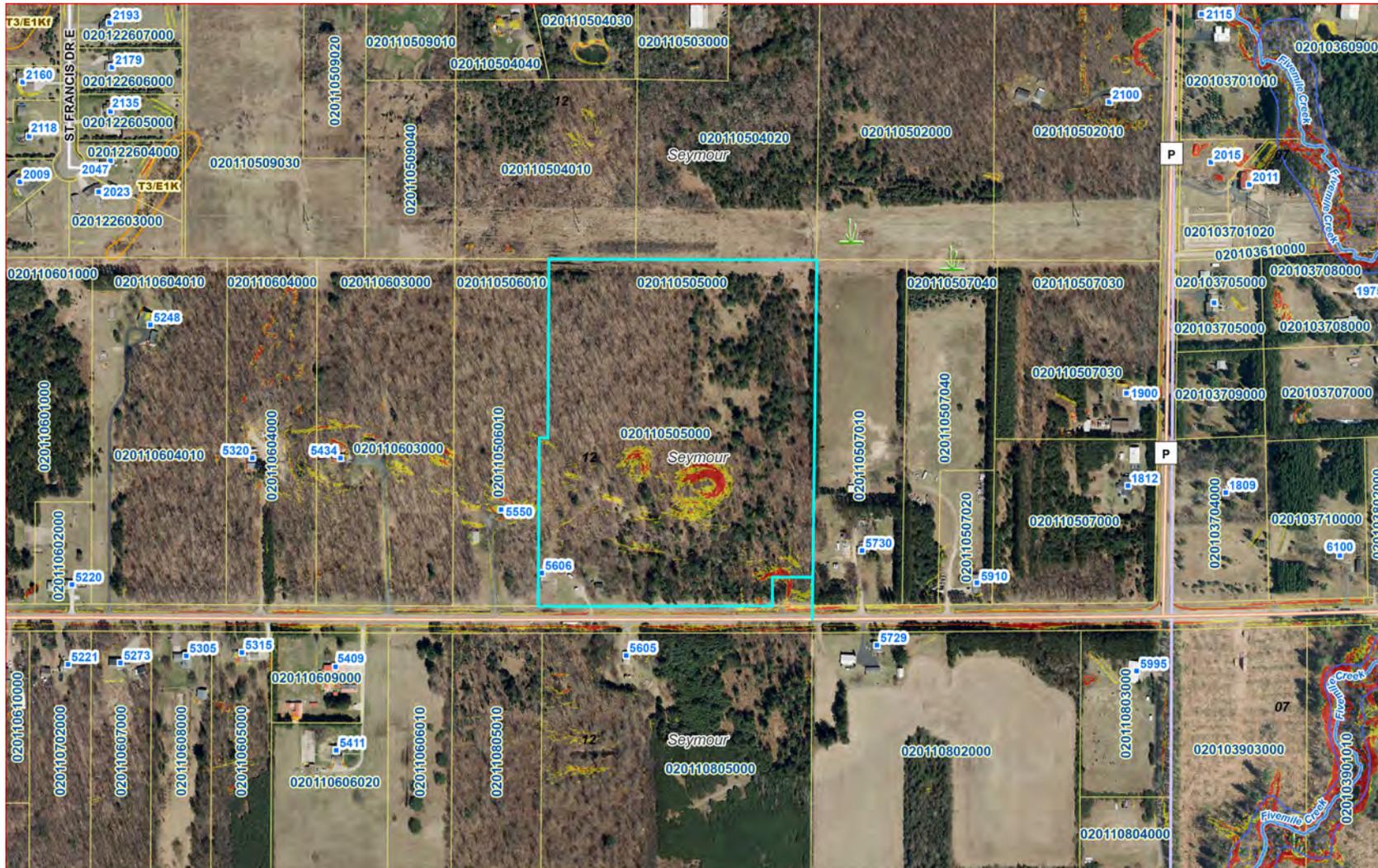
EAST $\frac{1}{4}$ CORNER
 SECTION 12
 FOUND BRASS
 CAP MONUMENT

REZONE EXHIBIT

LOCATED IN THE SOUTHWEST $\frac{1}{4}$ OF THE NORTHEAST $\frac{1}{4}$,
 SECTION 12, TOWNSHIP 27 NORTH, RANGE 9 WEST,
 TOWN OF SEYMOUR, EAU CLAIRE COUNTY, WISCONSIN

JTH Enterprises Property

Created by: MM



- Addresses
- Address Labels
- Parcels
- Parcel Numbers
- Parks
- Towns
- Surrounding Counties
- Eau Claire
- Surrounding
- Sections
- Rivers and Streams
- Lakes and Rivers
- Flood Hazard Zones
- 0.2 PCT ANNUAL CHANCE FLOOD HAZARD
- A
- AE
- X
- Interstate
- US Highway
- State Highway
- Ramp
- Major Arterial
- Minor Arterial
- Collector
- Local
- Private Drive
- Recreation
- Service
- Other
- Percent Slope
- 0 - 20%
- 20% - 30%
- Greater than 30%

Date created: 7/12/2024

Last Data Uploaded: 7/12/2024 2:14:04 PM

Developed by





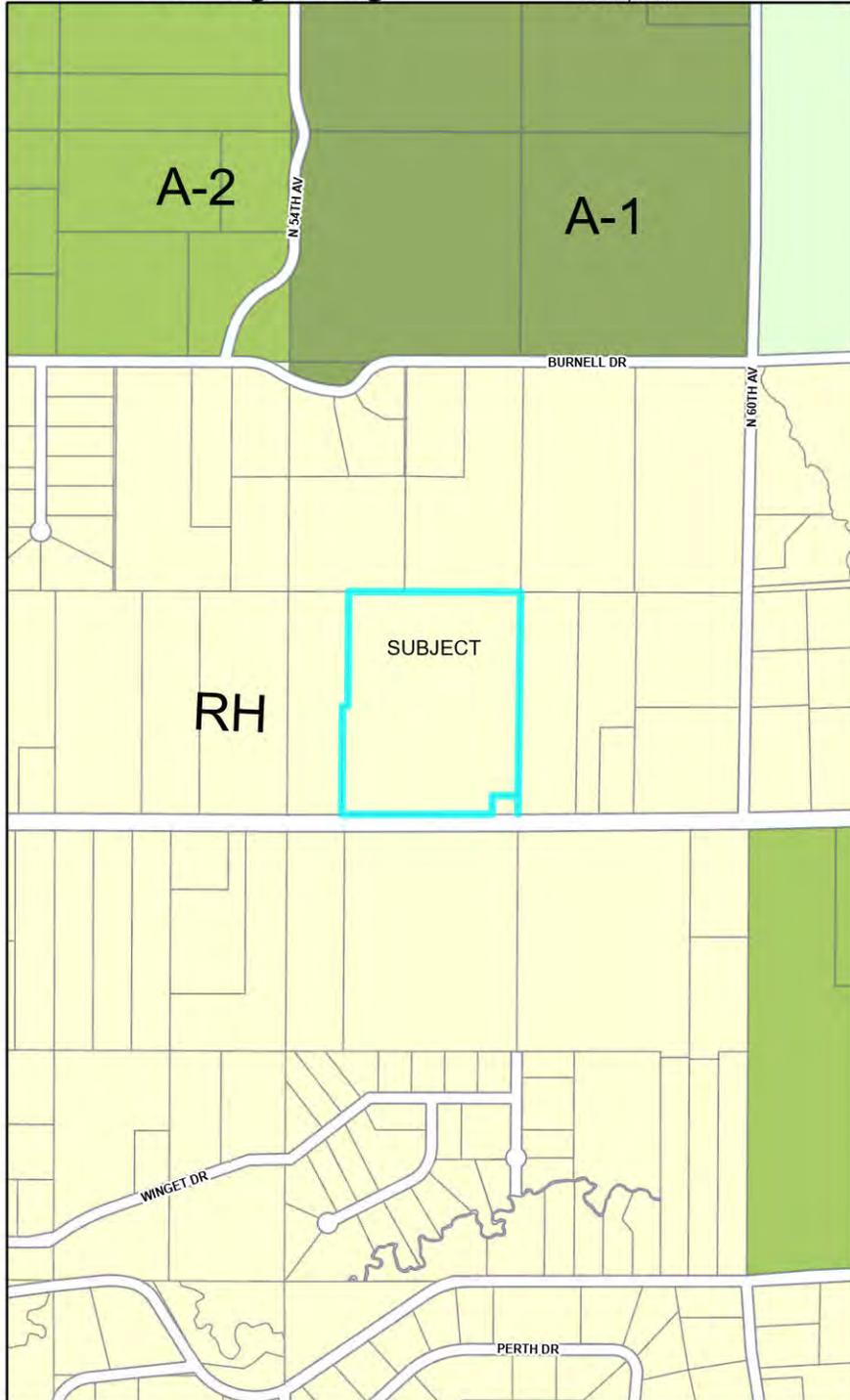
JTH Enterprises Rezoning: RZN-0019-24

Existing Zoning

1:12,848

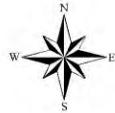
Future Land Use

1:12,848

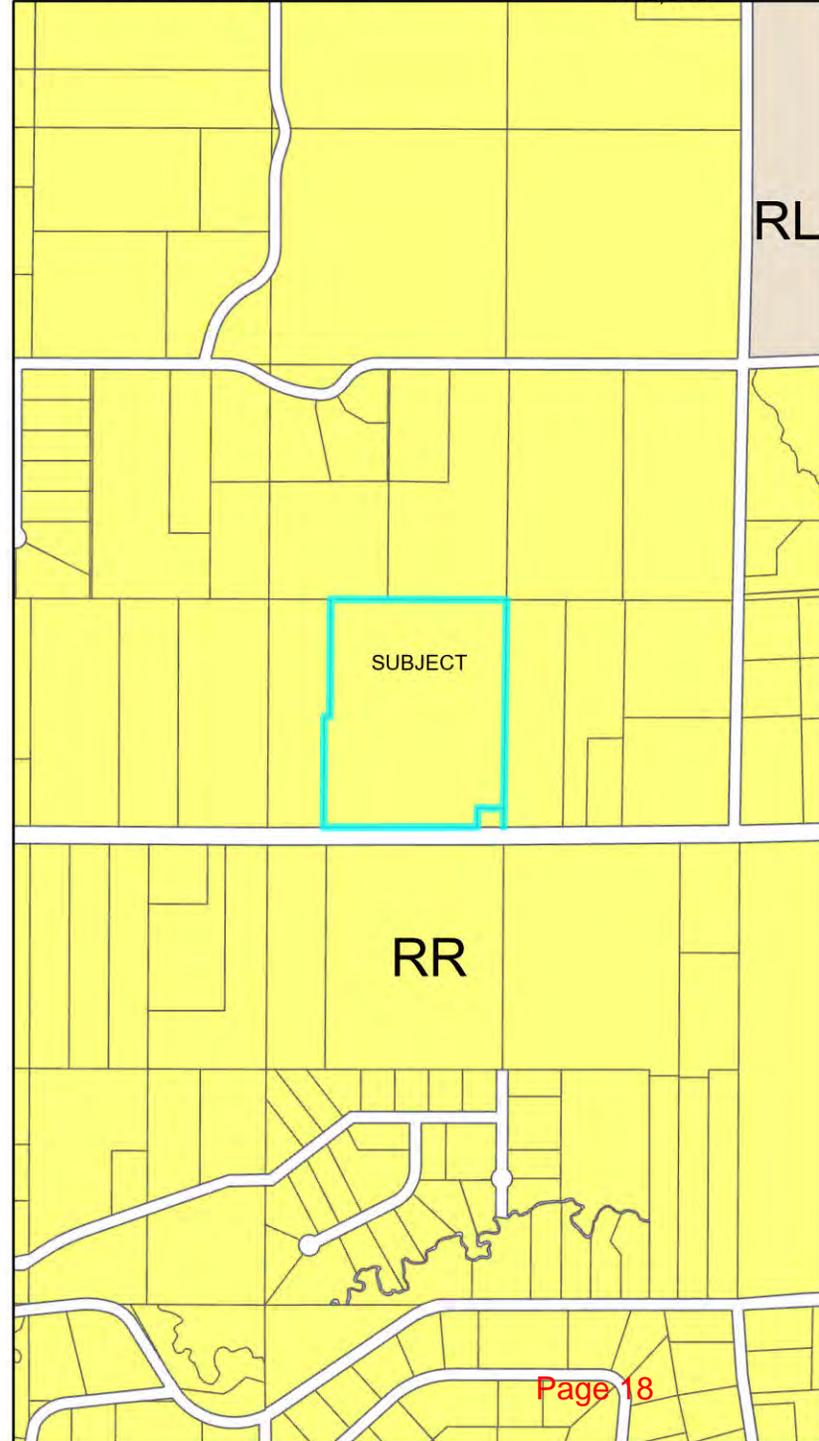


- Legend**
- A1 - Exclusive Agricultural District
 - A2 - Agriculture-Residential District
 - A3 - Agricultural District
 - AP - Agricultural Preservation
 - AR - Floating Agricultural-Residential District
 - C1 - Neighborhood Business District
 - C2 - General Business District
 - C3 - Highway Business District
 - F1 - Exclusive Forestry District
 - F2 - Forestry District
 - I1 - Nonsewered Industrial District
 - I2 - Sewered Industrial District
 - R1L - Single-Family Residential District, Large
 - R1M - Single-Family Residential District
 - R2 - Two-Family Residential District
 - R3 - Multiple-Family Residential District
 - RH - Rural Homes District

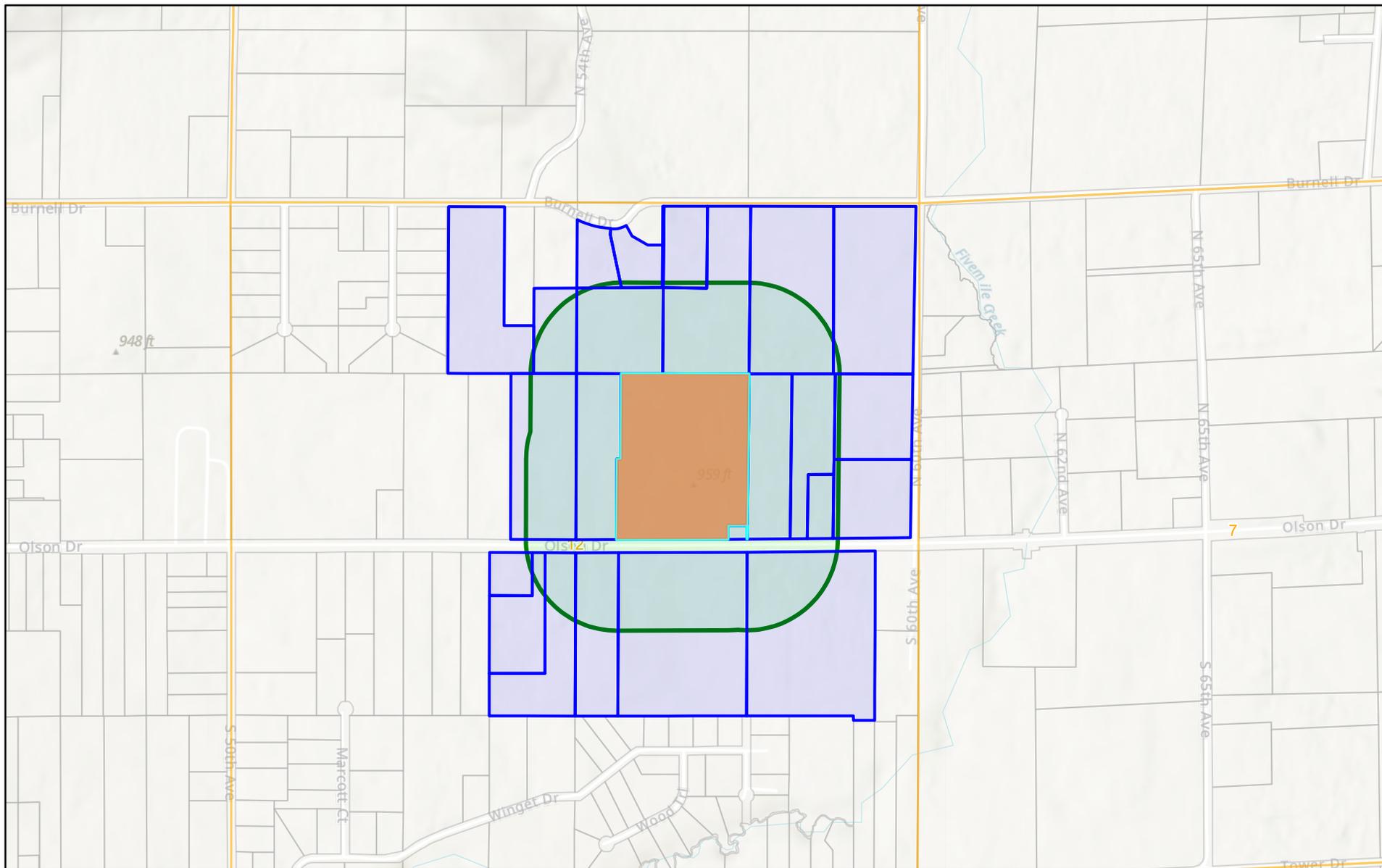
- Commercial Industrial
- County Forest
- Natural Resource Protection
- Park and Recreational
- Public Institutional
- Recreational Commercial
- Rural Commercial
- Rural Hamlet
- Rural Industrial
- Rural Lands
- Rural Residential
- Rural Residential - Mobile Home
- Rural Transition
- Urban Mixed Use



Parcel Mapping Notes:
 The horizontal datum is based on the Eau Claire County Coordinate System NAD_1983_HARN_Adj_WI_EauClaire_Feet.
 This map is a collection of public record information and was prepared as an ongoing commitment to provide quality and up-to-date information to the public. This map is intended for information use only. Although significant care has been exercised to produce maps that satisfy mapping accuracy standards, these maps are only as accurate as the source data from which they were compiled. These maps are intended to be advisory and are NOT designed or intended to be used as a substitute for an accurate field survey, as performed by a Wisconsin Credentialed Land Surveyor, to determine precise property location.
 Eau Claire County does not warrant, guarantee or make any representations regarding the use of, or results from the use of the data in terms of correctness, accuracy, reliability, currentness, or otherwise; and the user relies on the map and results solely at their own risk.

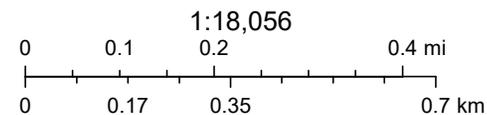


Public Notification



7/9/2024, 11:24:42 AM

-  County Boundary
-  Tax Parcel
-  Section



Esri, NASA, NGA, USGS, FEMA, Esri Community Maps Contributors, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS,

FirstName LastName	Address	City State Zip
BRADLEY GOULET	2100 N 60TH AVE	EAU CLAIRE WI 54703-8765
GARY & BONNIE ESLINGER TRUST	5434 OLSON DR	EAU CLAIRE WI 54703-9716
JOEL JANSSEN	5591 BURNELL DR	EAU CLAIRE WI 54703-8702
ERIC ACKER	5557 BURNELL DR	EAU CLAIRE WI 54703-8702
DONALD J & LINDA M MAGADANCE	5550 OLSON DR	EAU CLAIRE WI 54703-9716
ROBERT L & DIANE C STEWART	1812 N 60TH AVE	EAU CLAIRE WI 54703-9728
JAMES GRAY	5910 OLSON DR	EAU CLAIRE WI 54703-8770
TROY TOLLEFSON	5730 OLSON DR	EAU CLAIRE WI 54703-9716
HIGHCLERE PROPERTIES LLC	6176 SANDSTONE RD	EAU CLAIRE WI 54701-5138
WAYNE & RHONDA HENNING TRUST	301 HEWITT ST	EAU CLAIRE WI 54703-1545
NICHOLAS SCHMOCK	5731 BURNELL DR	EAU CLAIRE WI 54703-8702
CECIL REITER JR	1900 N 60TH AVE	EAU CLAIRE WI 54703-9777
RYAN WERNER	5409 OLSON DR	EAU CLAIRE WI 54703-8706
CHARLES SCHUNK JR	5605 OLSON DR	EAU CLAIRE WI 54703-8746
JAMES J HANUS	5411 OLSON DR	EAU CLAIRE WI 54703-8706
BRIAN MARKOWSKI	10903 N O'BRIEN HILL RD	HAYWARD WI 54843-6026



EAU CLAIRE COUNTY PLANNING STAFF RECOMMENDATION

REZONE NUMBER: RZN-0020-24 **COMPUTER NUMBERS:** 008101807000
008101803000

PUBLIC HEARING DATE: August 13, 2024

STAFF CONTACT: Matt Michels, Senior Planner

OWNER/AGENT: Robert Baumgart and Timothy Baumgart

REQUEST: Rezone 74.75 acres +/- from A-P Agricultural Preservation to the A-3 Agricultural District to allow for division into three lots for family members.

LOCATION: W6480 Maple Ridge Rd., Mondovi, WI and land located North of Maple Ridge Rd. and East of County Road Z

LEGAL DESCRIPTION: Being all of the Northwest ¼ of the Northeast ¼ and Northeast ¼ of the Northwest ¼ except lot 1 of CSM 1800, Vol 9, P 376-377, Section 8, Township 25 North, Range 10 West, Town of Drammen, Eau Claire County, WI

RECOMMENDATION: Approval based on the findings on Page 5 of this report.

BACKGROUND

SITE CHARACTERISTICS:

- The property is roughly equally split between woodland and agricultural uses
- There is a ridge of steep slopes (greater than 20%) running from the northeast corner of the property to the southeast corner, in addition to an area of steep slopes in the southeast corner of the property abutting Maple Ridge Rd.
- Tilled farmland on site is not contiguous, but rather fragmented into multiple sections by the aforementioned steep slopes
- There are no mapped wetlands or floodplains

EXISTING ZONING DISTRICT:

A-P Agricultural Preservation District. The A-P Agricultural Preservation District is established to:

- Preserve and protect those areas best suited for agricultural, forestry or open-space uses by minimizing fragmentation of contiguous agricultural or forest lands for the benefit and use of current and future generations;*
- Provide for a wide range of agricultural uses typically associated with the continued production of food and fiber while recognizing that such uses may involve noise, dust, odor, or operation of heavy equipment for long periods of time;*
- Strengthen and diversify a predominately agricultural and forestry-based economy by providing for a range of economic opportunities for property owners which are generally compatible with and supportive of agriculture or forestry operations as either permitted or conditional uses;*
- Comply with standards contained in Wis. Stat. ch. 91 to permit eligible landowners to receive tax credits under Wis. Stat. § 71.09, in conjunction with their agricultural operations;*
- Preserve rural character and promote the efficient use of public infrastructure and utilities by minimizing the adverse effects of urban sprawl along with its associated expense;*

- F. *Promote environmental quality through the use of conservation practices designed to minimize erosion of productive soils and deter the delivery of sediment and nutrients to the waters of our state;*
- G. *Minimize land use conflicts which occur when agricultural and non-agricultural uses are intermixed or not adequately separated; and*
- H. *Provide for carefully regulated extraction of nonmetallic mineral resources through Eau Claire County’s permitting processes to ensure compatibility with adjacent land uses, minimize impacts to natural resources, and to restore lands to productive agricultural use consistent with locally approved reclamation plans.*

REQUESTED ZONING DISTRICT:

A-3 Agricultural District. *This district is established to protect the agricultural base of the county; preserve the county’s natural resources and open space; provide an area for limited residential and hobby farm development in a rural atmosphere; and minimize urban sprawl and its associated public costs.*

ZONING/LAND USE CONTEXT:

LOCATION	ZONING	LAND USE
Subject	A-P	Woodlands; Ag fields; Farmstead; Existing outbuildings
North	A-P	Woodlands; Ag fields
East	A-2	Woodlands; Single-family residence
South	A-P	Pasture; farmstead
West	A-2	Woodlands; Single-family residence

COMPREHENSIVE PLANS:

The Eau Claire County Future Land Use Map includes the property in the Rural Lands (RL) planning area and the Town of Drammen Future Land Use Map includes the property in the Rural Preservation (RP) planning area. Portions of the property are subject to the Natural Resource Protection (NRP) overlay classification due to steep slope. Following are descriptions of the intent of the applicable County and Town comprehensive plan future land use categories and applicable policies.

Eau Claire County:

- Rural Lands Intent and Description: *The primary intent of these areas is to preserve productive agricultural lands, protect existing farm & forestry operations from encroachment by incompatible uses, promote further investments in farming, maintain farmer eligibility for incentive programs, and preserve wildlife habitat and open spaces. In other words, to preserve the rural character of these areas.*
- Applicable Policies:
 1. *Farming and other agriculture uses, agricultural-related businesses, cottage industries, forestry, mineral extraction, open space, and utilities shall be established as the primary land uses within these areas. Other uses may be permitted if found to be compatible with these uses and existing uses adjacent to the property.*
 2. *The preferred housing density is one (1) unit per 20 or more acres; however, local comprehensive plans may be more or less restrictive than this guideline and generally range from one (1) unit per five (5) acres to one (1) unit per 35 acres.*
 3. *For those Towns under County Zoning, the following Eau Claire County Zoning Districts will be considered for approval within RP areas: A-1 Exclusive Agricultural District, A-2 Agricultural-Residential District, A-3 Agricultural District, A-R Floating Agricultural-Residential*

District, F-2 Forestry District, F-1 Forestry District, and the proposed AC-R District noted below. The following additional policies shall apply to rezoning petitions:

- a. Rezoning land to the A-R Floating Agricultural-Residential District or the proposed AC-R Agricultural Compatible Residential District is preferred over additional non-farm A-2 or A-3 parcels, unless rezoning land to either of these districts will not interfere with, will not disrupt, or will not be incompatible with farming or agricultural use, and will not take land suitable for cultivation or other agricultural use out of production.*

Town of Drammen:

- Rural Preservation Comprehensive Plan Intent and Description: *The primary intent of these areas is to preserve productive agricultural lands in the long-term, protect existing farm & forestry operations from encroachment by incompatible uses, promote further investments in farming, maintain farmer eligibility for incentive programs, and to preserve wildlife habitat and open spaces. In other words, to preserve the rural character of these areas. However, the term rural preservation is not intended to imply that changes in land use will not occur in these areas. As mapped, this designation includes farmland, scattered open lands, woodlots, agricultural-related uses, cottage industries, mineral extraction operations, farmsteads, and limited low density single-family residential development. Future development in the RP area is expected to be consistent with the existing pattern of development, and the policies specified below for RP areas and other policies included in this Plan. Any new development shall be located in order to minimize the fragmentation of productive agricultural or forest land and to minimize any disruption to existing uses.*
- Applicable Policies:
 - a. Non-farm residential lots shall be a minimum of two (2) acres per unit, with the number of lots allowed being based upon a gross density of one (1) residential dwelling unit per five (5) acres held in single ownership. The balance of the land not included in the residential lots shall be placed in a permanent conservation easement for agriculture, forestry, and open space use.*
 - b. Any new non-farm residential lot shall have a “Right to Farm” disclosure attached to it acknowledging that the potential non-farm owner has been informed that his lot has been established in an area where farming is the preferred land use, and stating that the owner understands that he must abide by the State of Wisconsin “Right to Farm” statute (WI Stat. 823.08). This language shall be recorded on the deed to the property, transferable to subsequent owners.*
 - c. Non-farm residential development shall only occur on land that is marginal for agricultural productivity. At least 80% of any proposed new lot shall not contain Class I, II, or III soils. In addition, it is the preference of the Town of Drammen that new non-farm residential lots that are approved in accord with these policies be located adjacent to or near existing non-farm development.*

The application has been found to be substantially consistent with the intent, description, and the applicable policies of the Eau Claire County Rural Lands land use category.

FARMLAND PRESERVATION PLAN:

The property is included in the Farmland Preservation Plan Map, which allows the property owner to claim Farmland Preservation tax credits. The proposed A-3 Zoning District is not a certified farmland preservation district and would not qualify for Farmland Preservation tax credits.

A-P Rezoning Standards

In addition, there are four standards for approving a rezoning of land from the A-P Agricultural Preservation zoning district to any other district. The following provides an analysis of this rezoning petition based on those standards:

Standard 1 - *The land is better suited for a use not allowed in the A-P Agricultural Preservation zoning district based on a review of soil types, historical productivity, location, and adjacent land uses.*

- **Soil Types** – The soils are typical of the area, which is generally sandy and lower productivity. There are no class I or II soils on the property, and only a very limited amount of class III soils (~6% of the property) in the eastern portion of the property (see attached Soil Map).
- **Historical Productivity** – Fragmented portions of the property have been tilled for agriculture.
- **Site Location** – The property is located on Maple Ridge Road.
- **Adjacent Land Uses** – Uses in the area include a mixture of farmland, woodlands, farm and non-farm single-family residences, and vacant open areas.

Standard 2 - *The rezoning is consistent with any applicable comprehensive plans.*

The proposed rezoning substantially conforms to the future land use intent, purpose, and policies for the Eau Claire County Comprehensive Plan, including policies related to limiting residential density in rural areas of the County and limiting conversion of productive farmland.

Standard 3 - *The rezoning is substantially consistent with the certified Eau Claire County Farmland Preservation Plan.* Only a small amount of productive farmland will potentially be impacted with this rezoning.

Standard 4 - *The rezoning will not substantially impair or limit current or future agricultural use of surrounding parcels of land that are zoned for or legally restricted to agricultural use.*

The proposed rezoning will not likely impair or limit current or future agricultural use.

ANALYSIS

When rezoning land, a finding should be made that the purpose of the proposed zoning district and the uses that are allowed in that district are appropriate for the location; and that the rezoning will uphold the purpose of the zoning ordinance. A finding should also be made that the rezone is consistent with the County's Comprehensive Plan.

Town Board Action: The Drammen Town Board considered the rezoning petition on Monday, July 8, 2024, and voted to recommend approval.

The rezoning petition has been evaluated for consistency with the purpose of the A-3 District and the uses allowed in the district. The request is generally consistent with the purpose of the zoning code based on the following findings:

- The proposed rezoning is substantially consistent with the intent and purpose of the Eau Claire County Future Land Use plan.
- Existing uses in the area include woodlands, agricultural fields, and farm and non-farm single-family residences.
- Zoning is predominantly A-P and A-2 in vicinity of the subject property.
- The subject property is more than sufficient in both acreage and lot frontage (330' per lot) to accommodate three A-3 parcels.

CONCLUSION

The rezone petition has been evaluated for consistency with the following:

- Eau Claire County Comprehensive Plan future land use designation
- Eau Claire County Comprehensive Plan goals, objectives, and policies
- Eau Claire County Zoning Ordinance, including purpose of the zoning code and allowable uses in the A-3 District

In addition, the following factors have also been considered:

- Input of surrounding property owners. No correspondence in support or opposed to the proposed rezoning has been received, to date.

FINDINGS

Findings in Favor:

1. The request is generally consistent with the goals, objectives, and policies of the Eau Claire County Comprehensive Plan, as required by Section 19.01.020.B of the Eau Claire County Code; and Wisconsin Statutes §66.1001(1)(am) and §66.1001(3)(j), including the intent, description, and policies of the Rural Lands Future Land Use classification in Section 3.3 of the Eau Claire County Comprehensive Plan and Map 9 (Future Land Use) of the Eau Claire County Comprehensive Plan.
2. There are A-2 zoned lots adjacent to the subject property.
3. Existing farmland on the subject property is already fragmented by steep slopes; rezoning will not result in significant fragmentation of farmland.
4. The subject property contains only a small amount of class III soils; rezoning will not result in a significant loss of prime farmland



Department of Planning and Development
 Eau Claire County Courthouse
 721 Oxford Avenue, Room 3344
 Eau Claire, Wisconsin 54703
 (715) 839-4741

Office Use Only

Application Accepted:	7/3/24
Accepted By:	mm
Application Number:	RZN-0020-24
Town Hearing Date:	8/12/24 (?)
Scheduled Hearing Date:	8/13/24

REZONING APPLICATION

Pursuant to the procedure described in Wisconsin Statutes Section 59.69(5), I hereby petition the Eau Claire County Board of Supervisors to amend the Zoning District from:

Existing Zoning District: AP	Proposed Zoning District(s): A-3*
Acres to be rezoned: 75	After conversation w/ Tim Baumgart on 7/13/24 mm
Property Owner Name: Estate of Robert Baumgart	Phone#
Mailing Address: W6480 Maple Ridge Rd Mondovi WI 54755	
Email Address:	

Agent Name: Timothy Baumgart	Phone# 715-579-2061
Mailing Address: tfonte@hotmail.com	
Email Address: W6750 Maple Ridge Rd. Mondovi	

SITE INFORMATION

Site Address: W6480	RECEIVED
Property Description: _____ ¼ _____ ¼ Sec. _____, T _____, N, R _____, W, Town of _____	
Zoning District: _____	Code Section(s): _____
Overlay District: <input type="checkbox"/> Shoreland <input type="checkbox"/> Floodplain <input type="checkbox"/> Airport <input type="checkbox"/> Wellhead Protection <input type="checkbox"/> Non-Metallic Mining	JUL 03 2024 COUNTY CLERK
Computer #(s): 008101807000 008101803000	
PIN #(s):	

Applications will not be accepted until the applicant has met with department staff to review the application and determine if all necessary information has been provided. All information from the checklist must be included.

<input checked="" type="checkbox"/> Complete attached information sheet	<input type="checkbox"/> Confirmed with the Town their submittal deadline and process.
<input type="checkbox"/> Provide legal description of property to be rezoned	<input type="checkbox"/> Provide \$630.00 application fee (non-refundable), (\$550.00 application processing fee and \$80.00 mapping surcharge fee). Send application to landuse@eauclairecounty.gov or to the address above.

I certify by my signature that all information presented herein is true and correct to the best of my knowledge. I give permission for the staff of the Eau Claire County Department of Planning and Development to enter my property for the purpose of collecting information to be used as part of the public hearing process. I further agree to withdraw this application if substantive false or incorrect information has been included.

Owner/Agent Signature: Timothy Baumgart Date 6/25/2024

At the public hearing, the applicant may appear in person or through an agent or an attorney of his/her choice. The applicant/agent/attorney may present testimony, evidence, and arguments in support of the application. All site plans, pictures, etc. become the property of the Department, and will remain in the file.



Department of Planning and Development
 Eau Claire County Courthouse
 721 Oxford Avenue, Room 3344
 Eau Claire, Wisconsin 54703
 (715) 839-4741

Office Use Only

Application Accepted:	
Accepted By:	
Application Number:	
Town Hearing Date:	
Scheduled Hearing Date:	

REZONING APPLICATION

Pursuant to the procedure described in Wisconsin Statutes Section 59.69(5), I hereby petition the Eau Claire County Board of Supervisors to amend the Zoning District from:

Existing Zoning District: AP Proposed Zoning District(s): A3
 Acres to be rezoned: 75

Estate of
 Property Owner Name: Robert Baumgart Phone#
 Mailing Address: W6480 Maple Ridge Rd Mondovi WI 54755
 Email Address:

Agent Name: Timothy Baumgart Phone# 715-579-2061
 Mailing Address: tfunb@hotmail.com
 Email Address: W6750 Maple Ridge Rd. Mondovi

SITE INFORMATION

Site Address: W6480
 Property Description: _____ 1/4 _____ 1/4 Sec. _____, T _____, N, R _____ W, Town of _____
 Zoning District: _____ Code Section(s): _____
 Overlay District: Shoreland Floodplain Airport Wellhead Protection Non-Metallic Mining
 Check Applicable
 Computer #(s): 008101807000 008101803000
 or
 PIN #(s):

Applications will not be accepted until the applicant has met with department staff to review the application and determine if all necessary information has been provided. All information from the checklist must be included.

<input checked="" type="checkbox"/> Complete attached information sheet	<input type="checkbox"/> Confirmed with the Town their submittal deadline and process.
<input type="checkbox"/> Provide legal description of property to be rezoned	<input type="checkbox"/> Provide \$630.00 application fee (non-refundable), (\$550.00 application processing fee and \$80.00 mapping surcharge fee). Send application to landuse@eau Claire County.gov or to the address above.

I certify by my signature that all information presented herein is true and correct to the best of my knowledge. I give permission for the staff of the Eau Claire County Department of Planning and Development to enter my property for the purpose of collecting information to be used as part of the public hearing process. I further agree to withdraw this application if substantive false or incorrect information has been included.

Owner/Agent Signature: Timothy Baumgart Date 6/25/2024

At the public hearing, the applicant may appear in person or through an agent or an attorney of his/her choice. The applicant/agent/attorney may present testimony, evidence, and arguments in support of the application. All site plans, pictures, etc. become the property of the Department, and will remain in the file.

Rezoning petitions to change the zoning of a parcel from the A-P Agricultural Preservation District to any other District must be based upon findings that consider the following factors:

- 1) The land is better suited for a use not allowed in the A-P Agricultural Preservation zoning district based on a review of soil types, historical productivity, location, and adjacent land uses;
- 2) The rezoning is consistent with any applicable comprehensive plans;
- 3) The rezoning is substantially consistent with the certified Eau Claire County Farmland Preservation Plan; and
- 4) The rezoning will not substantially impair or limit current or future agricultural use of surrounding parcels of land that are zoned for or legally restricted to agricultural use.

If you are petitioning to rezone land from an A-P District to another district, please describe how the proposed change in zoning will be consistent with the four findings listed here.

- ① Lands Predominantly Wooded
Steep Slopes
- ② A2 Lands to East & West.
- ③ Consistent w/ Eau Claire Plan "Family Estate"
Large Lots of 20 Acres or More
- ④ Re-Zone will not impair Farm Activities

SUPPLEMENTAL INFORMATION FOR A REZONING PETITION

In order to process your application as quickly as possible, please fill in all of the sections below that are applicable to your request, and attach all appropriate maps or plans described below that are relevant to your request.

Describe the reason(s) for your rezoning request:

Probate / Death of Robert BAUMGART.
Division Estate to Siblings

When evaluating a rezoning petition, staff from the Eau Claire County Department of Planning and Development consider whether the purpose of the proposed zoning district and the uses allowed in the district are appropriate for the selected location. Staff also considers whether the change in zoning will uphold the purpose of the zoning ordinance, which is to separate incompatible land uses from one another, to maintain public health and safety, to protect and conserve natural resources, to prevent overcrowding, to preserve property values, and to maintain the general welfare of the citizens. Please describe how the proposed zoning district and the uses allowed in that district are appropriate for the selected location, and how the proposed change in zoning will uphold the purpose of the zoning ordinance.

3 Large Lot to go to Family

REZONING APPLICATION CHECKLIST

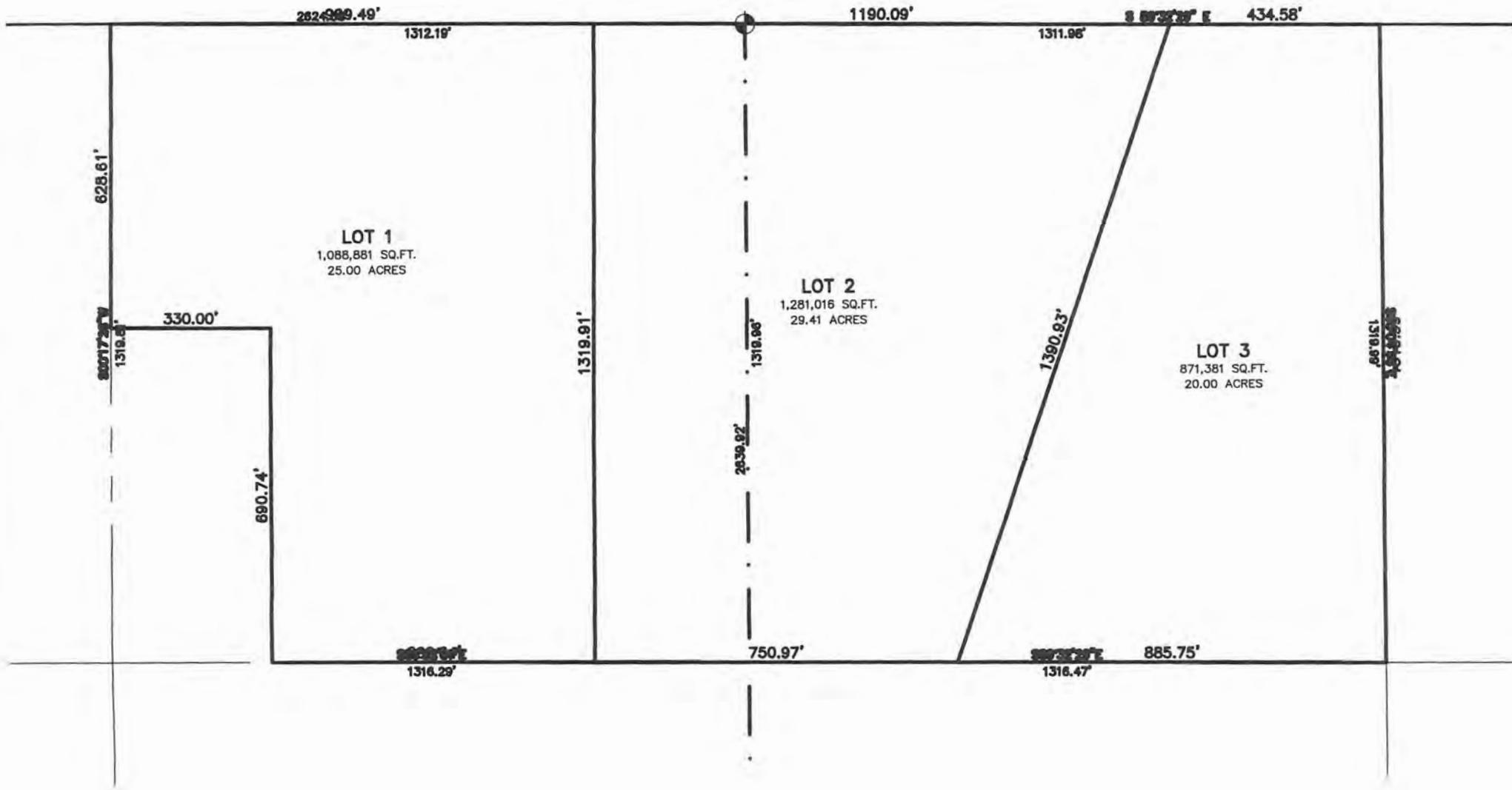
Applications are due by Tuesday at 12:00 PM three weeks prior to the Committee on Planning and Development meeting. The application must include the items listed below. After a preliminary review, additional information may be needed. A hearing will not be scheduled until the application is deemed complete. Applications are considered complete when all materials and associated fees are received and approved by staff.

Required Application Items:

- Application must be signed by the property owner(s)
- A legal description of land and address of land to be rezoned
- Complete the attached supplemental rezoning information sheet
 - Describe the reason for the request
 - Describe how the proposed zoning district and the uses allowed in that district are appropriate for the selected location, and how the proposed change in zoning will uphold the purpose of the zoning ordinance
 - Explain and justify why this particular property is under consideration for rezoning
 - For rezoning requests from A-P to any zoning district other than the AR district must consider the factors in Section 18.32.055 A. – D.
 - For rezoning requests from the A-P to the AR zoning district must consider the factors in Section 18.06.050 A. – D.
 - For rezoning requests out of the Shoreland-wetland district must consider Section 18.19.100 B

Re-zone Description:

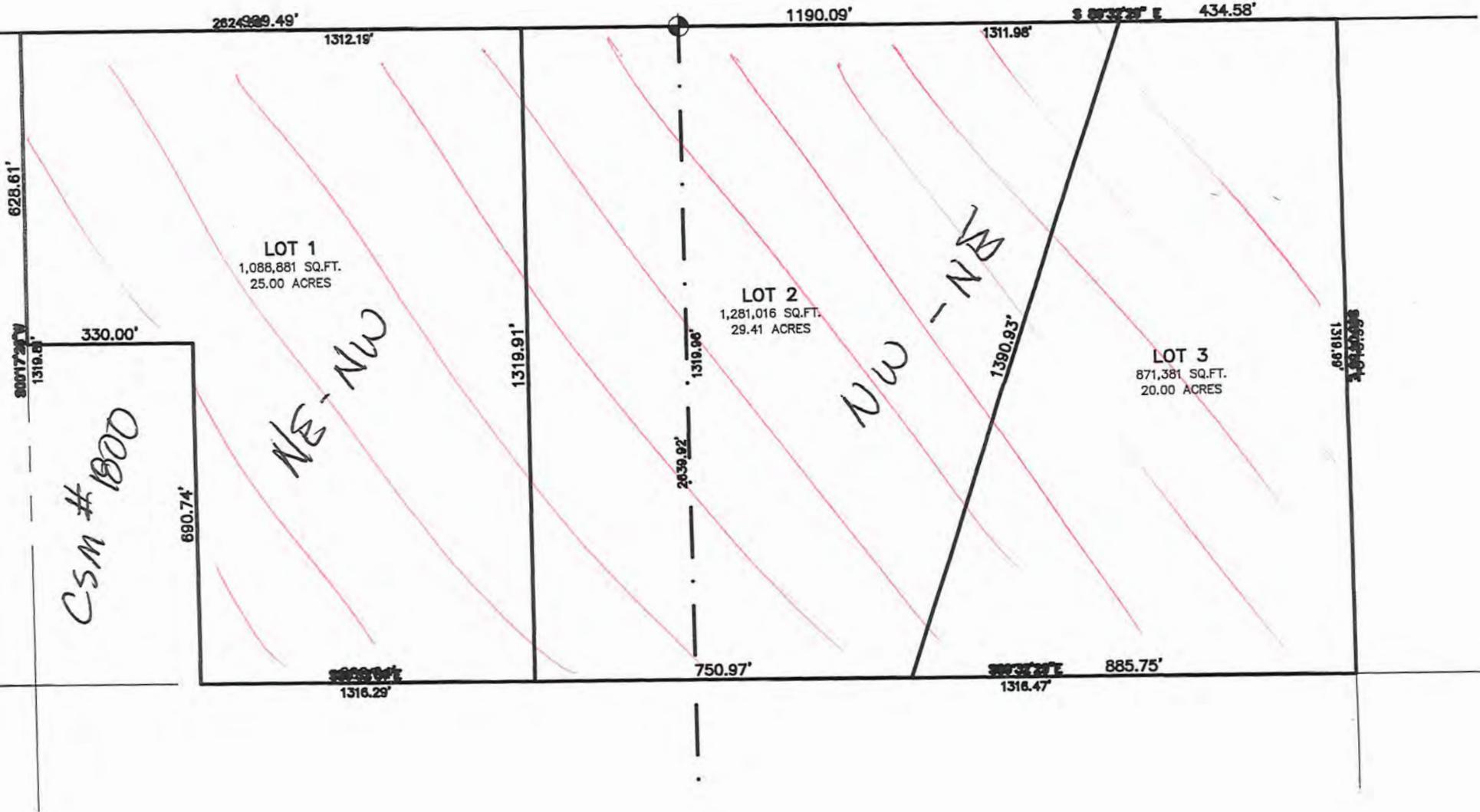
Being all of Northwest $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ and Northeast $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ except Lot 1 of Certified Survey map number 1800, volume 9 of certified Survey maps, Pages 376-377; Section 8, Township 25 North Range 10 West, Town of Drammen, Eau Claire County Wisconsin.



Section 8



Proposed CSM +
Re-Zone Sketch



Eau Claire County, WI

Summary

Parcel Number 1800822510082100001
Alternate No 008101807000
Property Address
Legal Description NE-NW EX LOT 1 OF CSM V.9 PG.376 (#1800)
Sec-Twp-Rng S8-T25N-R10W
Acres 34.75
School District MONDOVI SCHOOL DISTRICT
Tax District 008 - TOWN OF DRAMMEN

[View Map](#)

Owners

Mailing Address
ROBERT BAUMGART
W 6480 MAPLE RIDGE RD
MONDOVI, WI 54755

Owner
ROBERT J BAUMGART

Valuation

Assessed Year	2023	2022	2021	2020
Land Value	\$39,400.00	\$39,200.00	\$26,400.00	\$26,400.00
Building Value	\$0.00	\$0.00	\$0.00	\$0.00
Total Value	\$39,400.00	\$39,200.00	\$26,400.00	\$26,400.00
Estimated Fair Market Value	\$85,200.00	\$76,200.00	\$59,500.00	\$56,500.00

Tax History

Tax Year	2023	2022	2021	2020
Gross Property Tax	\$529.21	\$539.88	\$479.16	\$456.70
Managed Forest Tax	\$0.00	\$0.00	\$0.00	\$0.00
First Dollar Credit	\$0.00	\$0.00	\$0.00	\$0.00
Lottery Credit	\$0.00	\$0.00	\$0.00	\$0.00
Net Property Tax	\$529.21	\$539.88	\$479.16	\$456.70
Other Fees	\$0.00	\$0.00	\$0.00	\$0.00
SA Fees	\$0.00	\$0.00	\$0.00	\$0.00
Total Tax	\$529.21	\$539.88	\$479.16	\$456.70

No data available for the following modules: Sales.

The Eau Claire County WI Geographic Information Web Server provides online access to geographic and assessment record info currently maintained by Eau Claire for individual parcels of property. The maps and data are for illustration purposes and may not be suitable for site-specific decision making. Information found within should not be used for making financial or other commitments. Eau Claire County provides this information with the understanding that it is not guaranteed to be accurate.

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 Schneider
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Eau Claire County, WI

Summary

Parcel Number 1800822510081200001
 Alternate No 008101803000
 Property Address W 6480 MAPLE RIDGE RD
 MONDOVI, WI 54755
 Legal Description NW-NE
 Sec-Twp-Rng S8-T25N-R10W
 Acres 40
 School District MONDOVI SCHOOL DISTRICT
 Tax District 008 - TOWN OF DRAMMEN

[View Map](#)

Owners

Mailing Address
[ROBERT BAUMGART](#)
 W 6480 MAPLE RIDGE RD
 MONDOVI, WI 54755

Owner
[ROBERT J BAUMGART](#)

Valuation

Assessed Year	2023	2022	2021	2020
Land Value	\$56,600.00	\$56,400.00	\$40,000.00	\$40,000.00
Building Value	\$104,800.00	\$104,800.00	\$83,600.00	\$83,600.00
Total Value	\$161,400.00	\$161,200.00	\$123,600.00	\$123,600.00
Estimated Fair Market Value	\$225,900.00	\$202,100.00	\$176,900.00	\$168,300.00

Tax History

Tax Year	2023	2022	2021	2020
Gross Property Tax	\$2,167.89	\$2,220.12	\$2,243.41	\$2,138.17
Managed Forest Tax	\$0.00	\$0.00	\$0.00	\$0.00
First Dollar Credit	(\$71.06)	(\$74.23)	(\$75.25)	(\$73.90)
Lottery Credit	(\$264.50)	(\$243.66)	(\$266.89)	(\$181.11)
Net Property Tax	\$1,832.33	\$1,902.23	\$1,901.27	\$1,883.16
Other Fees	\$27.00	\$27.00	\$27.00	\$22.00
SA Fees	\$0.00	\$0.00	\$0.00	\$0.00
Total Tax	\$1,859.33	\$1,929.23	\$1,928.27	\$1,905.16

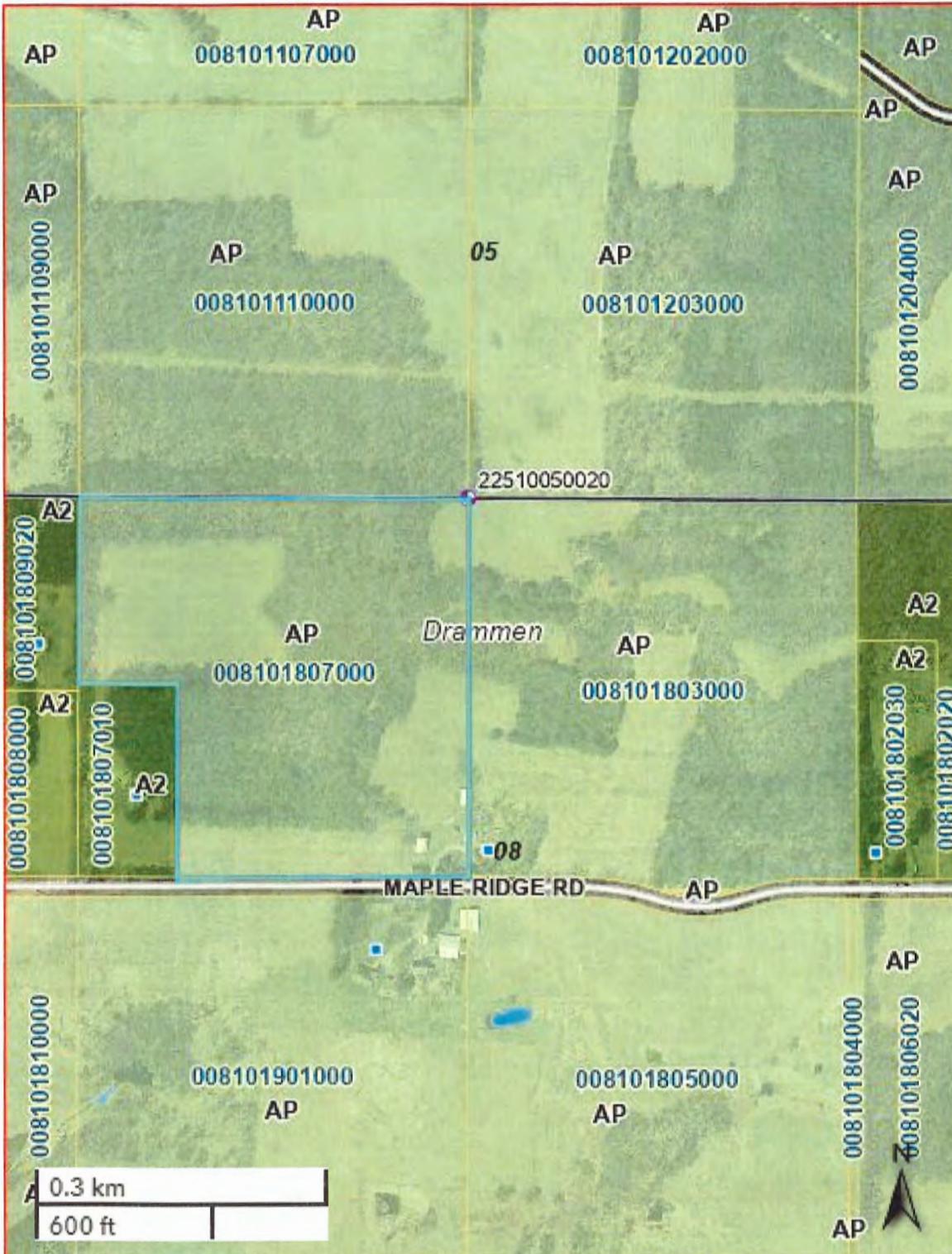
No data available for the following modules: Sales.

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[Contact Us](#)

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 Schneider
 GEOSPATIAL



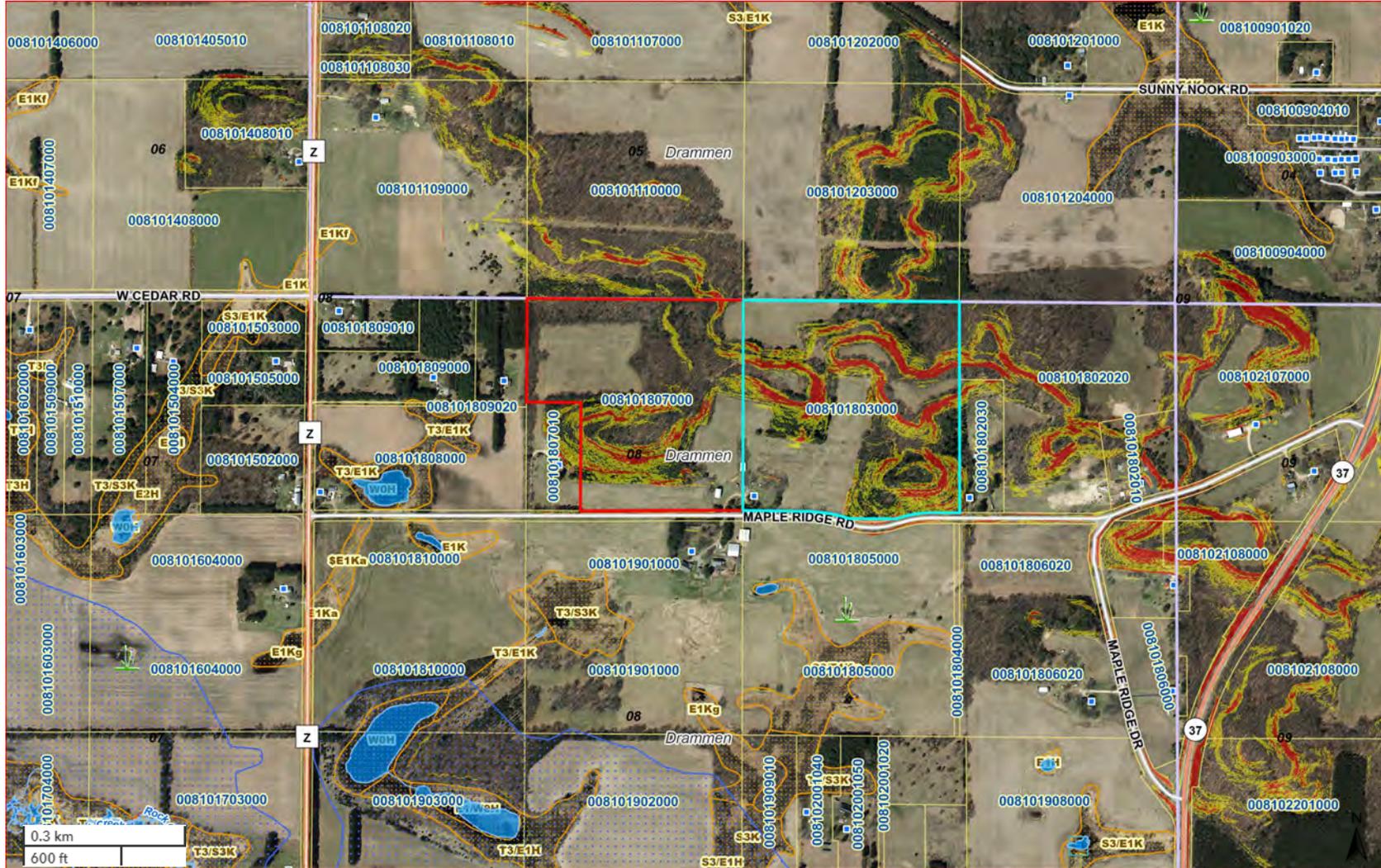
- Survey Search
- Addresses
- Parcels
- Parcel Numbers
- Parks
- County Zoning
- Not Zoned By County
- A1 - Exclusive Agricultural District
- A2 - Agriculture-Residential District
- A3 - Agricultural District
- AP - Agricultural Preservation
- AR - Floating Agricultural-Residential District
- C1 - Neighborhood Business District
- C2 - General Business District
- C3 - Highway Business District
- F1 - Exclusive Forestry District
- F2 - Forestry District
- I1 - Nonsewered Industrial District
- I2 - Sewered Industrial District
- R1L - Single-Family Residential District, Large Lot
- R1M - Single-Family Residential District
- R2 - Two-Family Residential District
- R3 - Multiple-Family Residential District
- RH - Rural Homes District
- Towns
- Surrounding Counties
- Eau Claire
- Surrounding
- Corners
- Center Of Section
- Meander Corner
- Quarter Corner
- Section Corner
- Witness Corner
- Sections
- Rivers and Streams
- Lakes and Rivers
- Interstate
- US Highway
- State Highway
- Ramp
- Major Arterial
- Minor Arterial
- Collector
- Local
- Private Drive
- Recreation
- Service
- Other

Date created: 6/25/2024
 Last Data Uploaded: 6/25/2024 12:39:14 AM
 Developed by



Baumgart Property

Created by: null



- Addresses
- Parcels
- Parcel Numbers
- Parks
- Towns
- Surrounding Counties
- Eau Claire
- Surrounding
- Sections
- Rivers and Streams
- Lakes and Rivers
- Flood Hazard Zones
- 0.2 PCT ANNUAL CHANCE
- FLOOD HAZARD
- A
- AE
- X
- Interstate
- US Highway
- State Highway
- Ramp
- Major Arterial
- Minor Arterial
- Collector
- Local
- Private Drive
- Recreation
- Service
- Other
- Percent Slope
- 0 - 20%
- 20% - 30%
- Greater than 30%

Date created: 7/12/2024
 Last Data Uploaded: 7/12/2024 12:45:36 AM
 Developed by





Baumgart Rezoning: RZN-0020-24

Existing Zoning

1:16,753

Future Land Use

1:16,753

- Legend
- A1 - Exclusive Agricultural District
 - A2 - Agriculture-Residential District
 - A3 - Agricultural District
 - AP - Agricultural Preservation
 - AR - Floating Agricultural-Residential District
 - C1 - Neighborhood Business District
 - C2 - General Business District
 - C3 - Highway Business District
 - F1 - Exclusive Forestry District
 - F2 - Forestry District
 - I1 - Nonsewered Industrial District
 - I2 - Sewered Industrial District
 - R1L - Single-Family Residential District, Large
 - R1M - Single-Family Residential District
 - R2 - Two-Family Residential District
 - R3 - Multiple-Family Residential District
 - RH - Rural Homes District

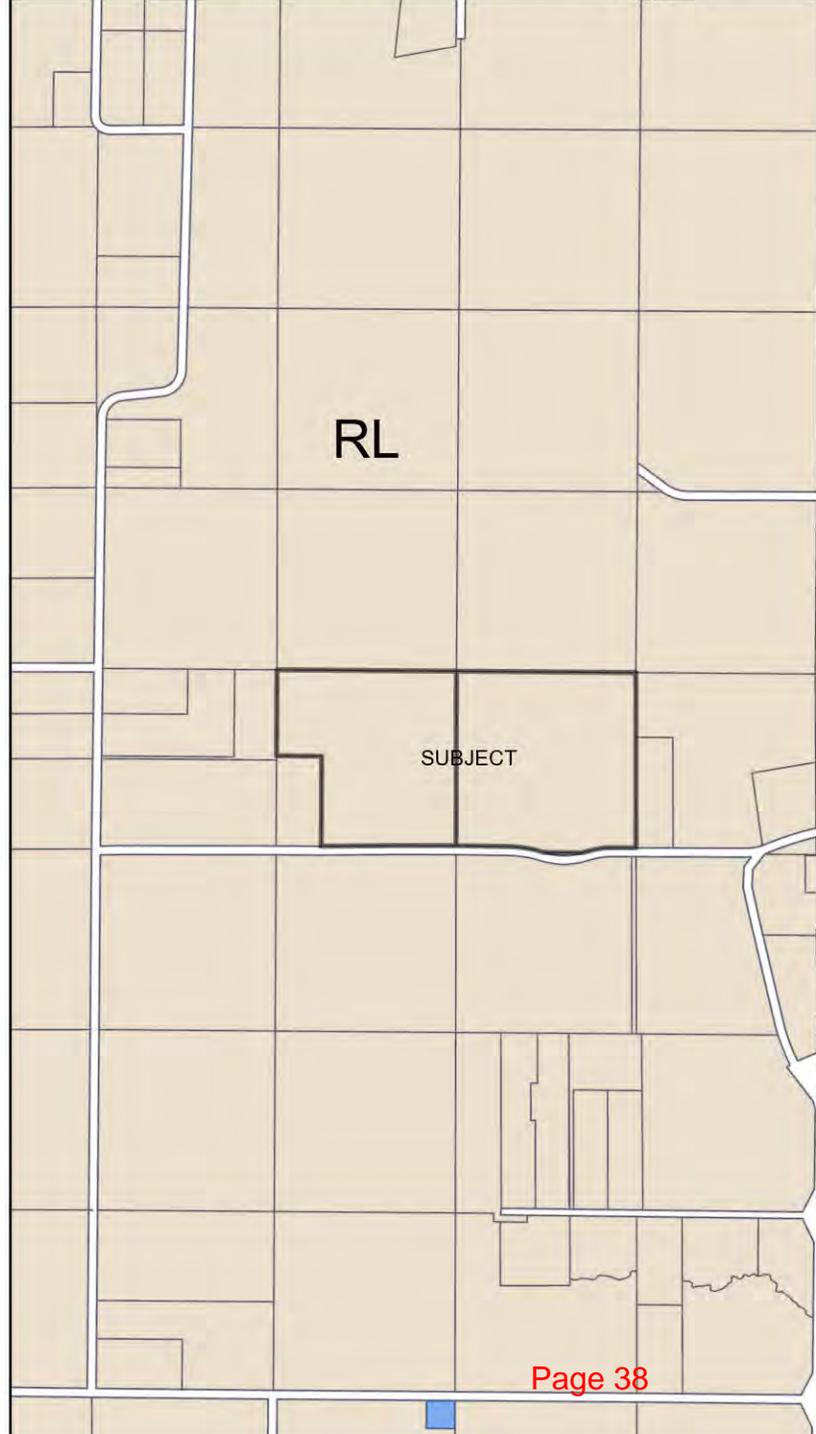
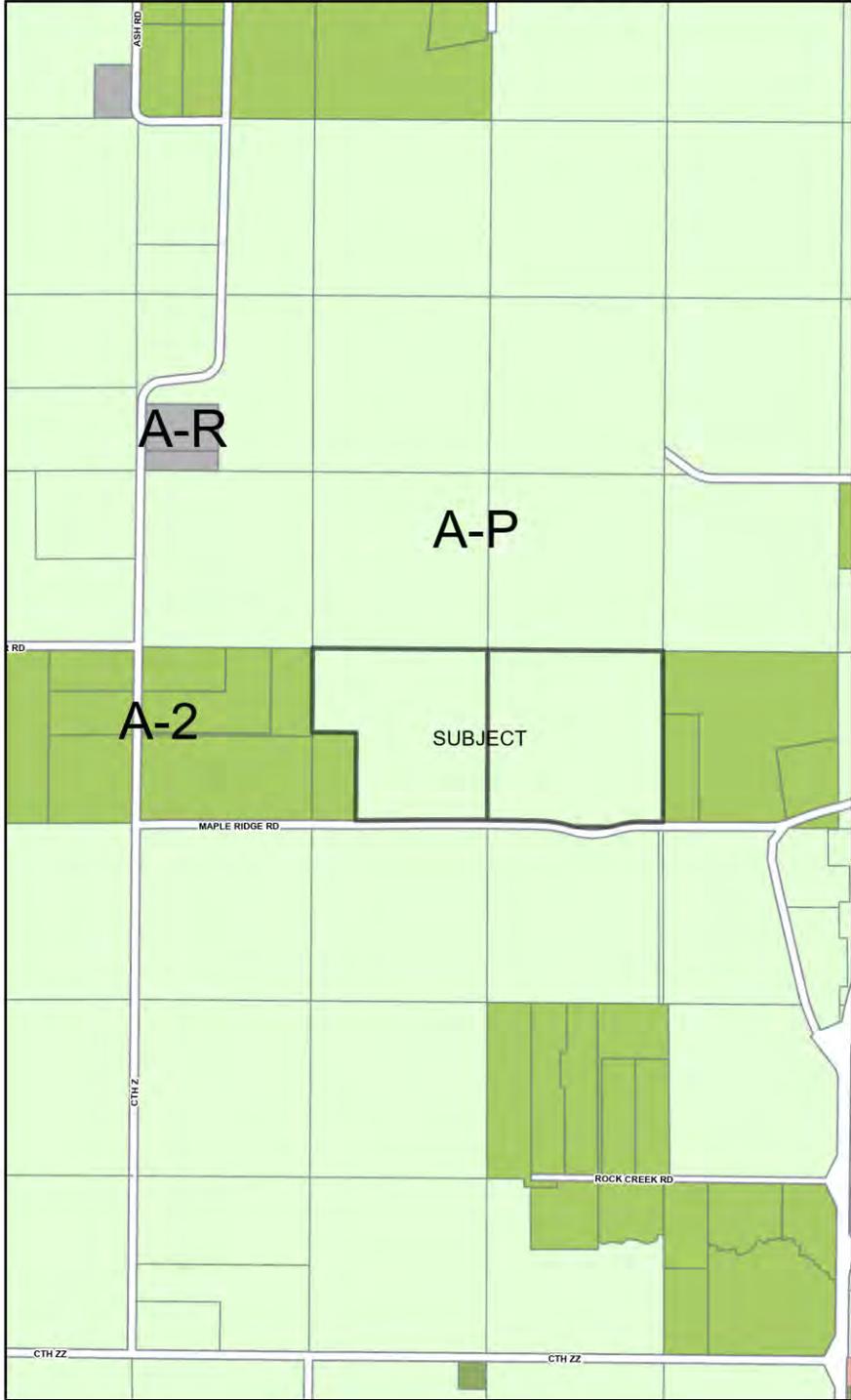
- Commercial Industrial
- County Forest
- Natural Resource Protection
- Park and Recreational
- Public Institutional
- Recreational Commercial
- Rural Commercial
- Rural Hamlet
- Rural Industrial
- Rural Lands
- Rural Residential
- Rural Residential - Mobile Home
- Rural Transition
- Urban Mixed Use



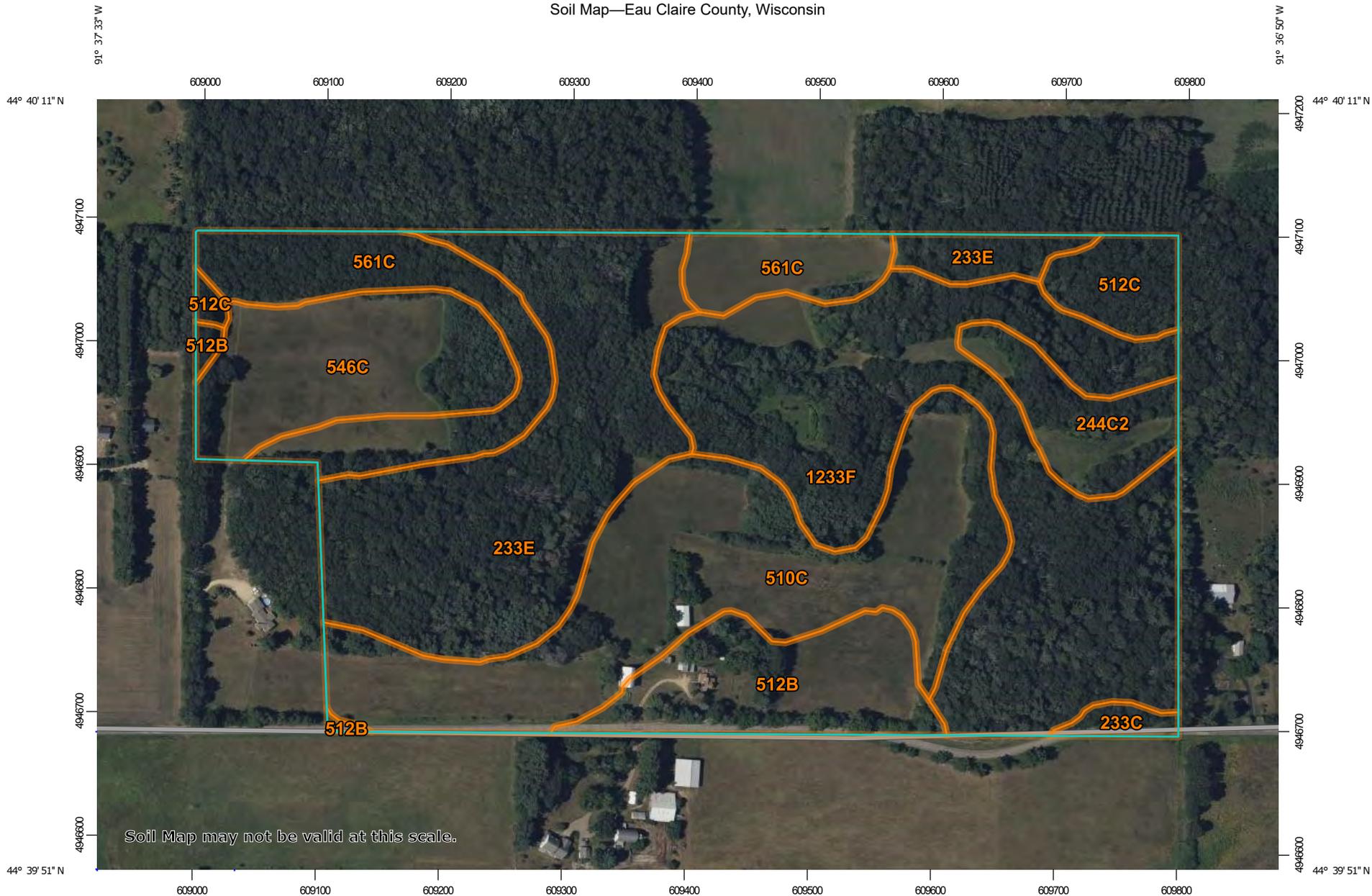
Parcel Mapping Notes:
 The horizontal datum is based on the Eau Claire County Coordinate System NAD_1983_HARN_A4L_WI_EauClaire_Feet

This map is a collection of public record information and was prepared as an ongoing commitment to provide quality and up-to-date information to the public. This map is intended for information use only. Although significant care has been exercised to produce maps that satisfy mapping accuracy standards, these maps are only as accurate as the source data from which they were compiled. These maps are intended to be advisory and are NOT designed or intended to be used as a substitute for an accurate field survey, as performed by a Wisconsin Credentialed Land Surveyor, to determine precise property location.

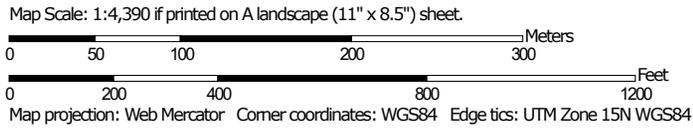
Eau Claire County does not warrant, guarantee or make any representations regarding the use of, or results from the use of the data in terms of correctness, accuracy, reliability, currentness, or otherwise, and the user relies on the map and results solely at their own risk.



Soil Map—Eau Claire County, Wisconsin



Soil Map may not be valid at this scale.



MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Eau Claire County, Wisconsin

Survey Area Data: Version 22, Sep 8, 2023

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jul 21, 2022—Sep 13, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
233C	Boone sand, 6 to 15 percent slopes	0.5	0.7%
233E	Boone sand, 15 to 30 percent slopes	15.1	20.2%
244C2	Elk mound loam, 6 to 12 percent slopes, moderately eroded	2.9	3.9%
510C	Boplain sand, 6 to 15 percent slopes	14.9	20.0%
512B	Drammen loamy sand, 1 to 6 percent slopes	5.5	7.4%
512C	Drammen loamy sand, 6 to 12 percent slopes	2.0	2.7%
546C	Prissel loamy sand, 6 to 15 percent slopes	6.3	8.4%
561C	Tarr sand, 6 to 15 percent slopes	7.9	10.6%
1233F	Boone-Tarr sands, 15 to 50 percent slopes	19.5	26.0%
Totals for Area of Interest		74.7	100.0%

Town of Drammen
Meeting Minutes
Monday, July 8, 2024

The meeting was called to order by Chairman Ed Risler with all board members present. Greg Lampman, Allen Myren, Jim Williams and Members of the Eau Claire Health Dept were in attendance.

Motion to approve the June minutes made by Joe Becker and seconded by Jeff Larson. Motion carried.

Motion to approve the June treasurer's report made by Jeff Larson and seconded by Joe Becker. Motion carried.

Motion to approve the July 2024 bills made by Joe Becker and seconded by Jeff Larson. Motion carried.

A zoom meeting with the Eau Claire Health Department, Wisconsin State Health Department and the State DNR Water Quality Division was held. At the meeting discussion centered on

1. What are PFAs
2. Where in Drammen have wells been tested
3. Options which are presented to homeowners affected by the PFA's in their water source.

Next Town association meeting at Seymour on Thursday, July 25, 2024, at 6:30 pm.

Motion by Joe Becker and seconded by Jeff Larson to approve a zoning request by the Baumgart Trust to break up the farm into three parcels. Motion carried.

Motion to move into a closed session to discuss personnel issues made by Joe Becker and seconded by Jeff Larson. Motion carried.

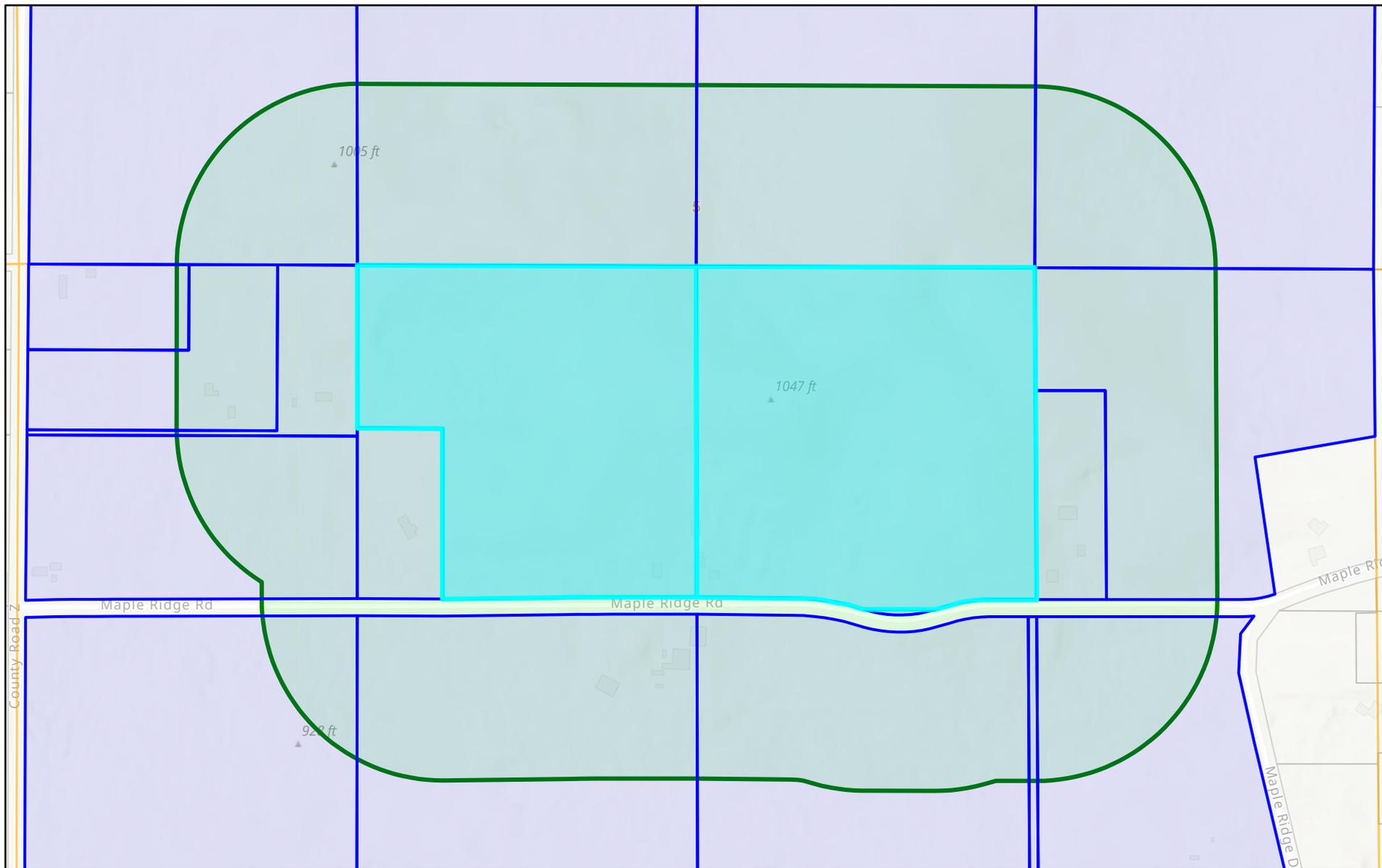
Motion to come out of closed session made by Joe Becker and seconded by Jeff Larson. Motion carried.

Motion to adjourn made by Jeff Larson and seconded by Joe Becker. Motion carried.

Submitted

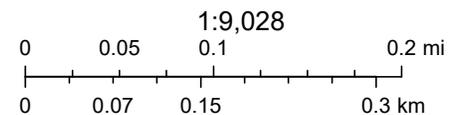
Mark Zuber

Public Notification



7/3/2024, 11:55:02 AM

-  County Boundary
-  Tax Parcel
-  Section



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FirstName LastName	Address	City State Zip
SHARON BORNFLETH	S 10841 COUNTY ROAD Z	MONDOVI WI 54755-8549
JAMES E & GLORIA M WILLIAMS	W 6380 SUNNY NOOK RD	MONDOVI WI 54755-8542
LARRY L & RUTH E WERLEIN	W 6150 SUNNY NOOK RD	MONDOVI WI 54755-8542
WENDY BRUNNER	W6020 MAPLE RIDGE RD	MONDOVI WI 54755-8613
SELMER ULBERG	2223 SOMONA PKWY	EAU CLAIRE WI 54703-3185
DAVID W & ROBIN L GERRY	W 6525 MAPLE RIDGE RD	MONDOVI WI 54755-8547
WINBERG FAMILY IRREVOC TRUST	S11444 MAPLE RIDGE DR	MONDOVI WI 54755-8546
TIMOTHY A & REBECCA A BAUMGART	W 6750 MAPLE RIDGE RD	MONDOVI WI 54755-8615
DEREK LIEFFRING	S 11001 COUNTY ROAD Z	MONDOVI WI 54755-8548
PETER & JEANNE SCHMITT TRUST	S 11125 COUNTY ROAD Z	MONDOVI WI 54755-3509
AARON P & LEAH B HINTGEN	W 6230 MAPLE RIDGE RD	MONDOVI WI 54755-8547
JEFFREY E & MAUREEN K HUTZLER	S 11235 COUNTY ROAD Z	MONDOVI WI 54755-3510
MICHAEL & LYNDA GONSTEAD	S 11123 COUNTY ROAD Z	MONDOVI WI 54755-3509



EAU CLAIRE COUNTY PLANNING STAFF RECOMMENDATION

Staff Report Amendment

CONDITIONAL USE PERMIT NUMBER: CUP-0007-24

COMPUTER NUMBERS: 022-1054-03-000

PUBLIC HEARING DATE: August 13, 2024

STAFF CONTACT: Ben Bublitz, Land Use Manager

OWNER: David and Audrey Moon, 3794 North Shore Dr, Eau Claire, WI 54703

AGENT: Owner

REQUEST: Cumulative area of all accessory structures to exceed 1,800 sq. ft. on a lot with an area between 1 and 2.99 acres.

LOCATION: 3794 North Shore Drive, Eau Claire, WI 54703

LEGAL DESCRIPTION: Part of the NE ¼ of the NE ¼, Section 15, Township 27 North, Range 9 West, Town of Seymour, Eau Claire County, WI.

SUMMARY

Cumulative area of all accessory structures to exceed 1,800 sq. ft. on a lot with an area between 1 and 2.99 acres in the Rural Homes District (R-H). With the existing accessory structure, the total square feet will be 3,058.

BACKGROUND

The applicant has requested a new 30'x48' pole shed with a 12' lean-to attached. The overall dimension will be 30'x60' totaling 1,800 square feet. The application states the use of the structure is for personal storage and a personal workshop. There is a small shed currently located on the site of the new structure, but it's intended to be removed if approval of this application is secured.

There is no proposed fill beyond what may be needed to create a level building site. Overall, the property is relatively level, so any fill should be minimal.

The application materials include site plan, building elevations and floor plan layout of the garage.

SITE CHARACTERISTICS:

- The lot size is approximately 1.4 acres.
- The lot is located on the north side of County Road E.
- The proposal is to exceed the 1,800 square foot maximum by 120 square feet.

CURRENT ZONING: RL Residential Large Lot. The RL district is established to provide to provide an area for suburban, large lot development on public sewer and water systems or where public facilities may be feasibly extended.

ADJACENT ZONING & LAND USES:

	ZONING	LAND USE
North	RL	Forested / Residential Single Family
West	RL	Residential Single Family
South	RL	Residential Single Family
East	RL	Forested / Residential Single Family

LAND USE PLANS: The County Land Use Plan and Town of Union Comprehensive Plan include this property in a Rural Residential area.

Rural Residential (RR)

Intent and Description: The primary intent of this classification is to identify areas suitable for future non-farm residential development. Rural Residential areas include lands that are delineated as existing residential properties or vacant platted areas. In addition, some undeveloped land has been designated for RR development where subdivision expansion is likely to occur. These additional areas tend to be adjacent to existing rural subdivisions or where local roads and utilities exist to efficiently and economically serve the area.

APPLICABLE ZONING REGULATIONS

Section 18.02 Purpose This section describes the purpose of the zoning code. Generally, the purpose of the zoning ordinance is as follows: to separate incompatible land uses from one another; to maintain public health and safety; to protect and conserve natural resources; to prevent overcrowding; to preserve property values; and to maintain the general welfare of the citizens.

Section 18.162.010 A.2 Definition of an Accessory Structure. An “accessory structure” means a subordinate structure which is clearly and customarily incidental to and located on the same lot as a principal structure except that mobile/manufactured homes are not allowed as storage structures.

Section 18.20.010 Purpose. The R-L Residential-Large Lot district is established to provide an area for suburban, large lot development on public sewer and water systems or where public facilities may be feasibly extended.

Section 18.19.030 Maximum Height for an Accessory Structure in the RH District. The maximum height for the eaves of an accessory structure is 14 feet, and the maximum height for the structure is 20 feet. Maximum height is measured as the height halfway between the peak of the roof and the eaves (mean height).

Section 18.41.010 B. All accessory structures shall meet the following criteria:

1. The cumulative area of all accessory structures shall not exceed 1,800 square feet on a lot with an area between 1 and 2.99 acres without the approval of a conditional use permit. Private swimming pools and structures 150 square feet or less in size shall not count towards the cumulative area of all accessory structures.
2. They shall not contain any living area within the structure which shall include but not be limited to bedrooms, living rooms, bathrooms, or kitchens.
3. The appearance of the structure shall be compatible with the design, style, and appearance of the principal structure on the property.

Chapter 18.103 Conditional Uses. Standards for approval of conditional uses: 1) the use must be in conformance with the purpose of the zoning district it is located in; 2) the use will not be injurious to the use and enjoyment of other property in the immediate vicinity; 3) adequate utilities, access, drainage and

other necessary facilities have been or are provided; 4) adequate off-street parking is provided; 5) adequate measures have been taken to prevent or control offensive odors, fumes, dust, noise and vibration so these will not constitute a nuisance, and lighting is controlled so that it does not result in disturbance to neighboring properties; 6) soil conditions are adequate to support the use; 7) access does not pose traffic congestion or hazards.

ANALYSIS: The request meets the standards for accessory structures in residential districts. The structure will be subordinate to the residence on the property, and it will meet all the standards for conditional use permits. The exterior of the structure is required to be compatible with the residence on the property. This request does not appear to be injurious to the use and enjoyment of other properties in the immediate vicinity. The lot is large enough to accommodate the additional accessory structure and the structure will meet minimum setbacks required in the RL district. It does not appear that the use of the structure will result in any nuisance factors such as noise, dust, or fumes.

TOWN BOARD ACTION: The Town of Seymour Board met July 08, 2024, and voted to recommend approval of the request.

STAFF CONCLUSIONS AND RECOMMENDATION: Staff concludes that the request for a conditional use permit for the cumulative area of all accessory structures to exceed 1,800 sq. ft. on a lot with an area between 1 and 2.99 acres, will meet all the standards for accessory structures in the RL District; will meet all the standards for approval of conditional use permits; and will be consistent with the purpose of the zoning code, and adheres to 2017 Wisconsin Act 67 and Wis. Stat. 59.69(5e).

Staff recommends that the committee approve the conditional use permit with the following conditions:

1. The site plan, floor plan, and elevation drawings submitted with the application shall be attached to and made a part of the permit. The structure shall be constructed in accord with the drawings submitted and located on the property as shown on the site plan.
2. The appearance of the accessory structure must be compatible with the design, style, and appearance of the principal structure on the property, in accordance with 18.41.010 B.3. of the Eau Claire County Code.
3. Any outside lighting shall be shielded in a downward manner to reduce lighting pollution.
4. The structure shall comply with the height standards for accessory structures, including the limit of eave height of 14 feet, and maximum mean height of 20 feet.
5. Prior to construction, the applicant shall obtain all necessary permits including but not limited to a land use permit from the Department of Planning and Development.
6. Use of the structure shall be limited to personal storage and shall not contain any living areas.
7. The building cannot be used for commercial or manufacturing purposes.
8. The applicant shall notify the Land Use Manager upon completion of the accessory structure so that staff can verify compliance with the terms of this approval.
9. The Land Use Manager can approve minor alterations from the terms of the permit. A major change requires the approval of the committee at a public hearing.
10. The owners shall allow staff from the Department to enter the property at reasonable times to inspect the premises for compliance with the conditions of this permit.
11. The permit is subject to Sections 18.155 of the Zoning Code. These provisions establish when a conditional use permit lapses, the conditions under which it can be revoked, and when a CUP expires due to the abandonment of a use.



Department of Planning and Development
 Eau Claire County Courthouse
 721 Oxford Avenue, Room 3344
 Eau Claire, Wisconsin 54703
 (715) 839-4741

Office Use Only

Date Application Accepted:	07/17/2024
Accepted By:	Heidi
Receipt Number:	078138
Town Hearing Date:	07/08/2024
Scheduled Hearing Date:	08/13/2024

CONDITIONAL USE PERMIT APPLICATION

Property Owner Name: David Moon	Phone# 715-651-0275
Mailing Address: 3794 N Shore Drive, Eau Claire, WI 54703	
Email Address: moon.davidg@gmail.com	

Agent Name:	Phone#
Mailing Address:	
Email Address:	

SITE INFORMATION

Site Address: 3794 N Shore Drive, Eau Claire, WI 54703

Property Description: _____ ¼ _____ ¼ Sec. 15, T 27 N, R 9 W, Town of Seymour

Zoning District: R1L Code Section(s):

Overlay District:
 Check Applicable Shoreland Floodplain Airport Wellhead Protection Non-Metallic Mining

Computer #(s):
 or
 PIN #(s):

GENERAL APPLICATION REQUIREMENTS

Applications are due by 12:00 PM of the Tuesday three weeks prior to the Planning and Development Committee meeting. All information from the checklist below must be included. The department is allowed 10 working days after submitting an application to determine if an application is approved, conditionally approved or denied.

<input type="checkbox"/> Complete attached information sheet	<input type="checkbox"/> Site Plan Drawn to Scale	<input type="checkbox"/> Confirmed with the Town their submittal deadline and process.	<input type="checkbox"/> Provide \$550.00 application fee (non-refundable). Send application to landuse@eauclairecounty.gov or to the address above.
--------------------------------------------------------------	---------------------------------------------------	----------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

I certify by my signature that all information presented herein is true and correct to the best of my knowledge. I give permission for the staff of the Eau Claire County Department of Planning and Development to enter my property for the purpose of collecting information to be used as part of the public hearing process. I further agree to withdraw this application if substantive false or incorrect information has been included.

Owner/Agent Signature David Moon Digitally signed by David Moon Date: 2024.07.03 13:51:26 -05'00' Date 7/3/2024

NOTICE: PERMIT FEES DOUBLE WHEN WORK BEGINS PRIOR TO ISSUANCE OF PERMITS & APPROVALS.

At the public hearing, the applicant may appear in person or through an agent or an attorney of his/her choice. The applicant/agent/attorney may present testimony, evidence, and arguments in support of the application. All site plans, pictures, etc. become the property of the Department, and will remain in the file.

STANDARDS FOR CONDITIONAL USE PERMITS

The Committee on Planning and Development has the authority to grant conditional use permit only when the standards are met. The conditional use permit standards are located in Section 18.21.060 of the Eau Claire County Code. Those standards are as follows:

- A. The proposed use is in conformance with the purpose of the zoning district in which it is located.
- B. The use will not be injurious to the use and enjoyment of other property in the immediate vicinity for purposes already permitted.
- C. That adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.
- D. Adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use.
- E. Adequate measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise, and vibration so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.
- F. Soil conditions are adequate to accommodate the proposed use.
- G. Proper facilities and access points are provided which would eliminate any traffic congestion or hazard which may result from the proposed use.

SUPPLEMENTAL INFORMATION FOR A CONDITIONAL USE PERMIT

In order to process your application as quickly as possible, please fill in all the sections below that are applicable to your request, and attach all appropriate maps or plans described below that are relevant to your request.

WRITTEN DESCRIPTION OF THE PROPOSED USE:

General description of the use (home occupation, accessory structure in excess of 1,200 square feet, filling in a floodplain, non-metallic mining, or any other listed conditional use in zoning districts).

IF THE PROPOSED USE INVOLVED A BUSINESS ACTIVITY, DESCRIBE THE PROPERTY

Description of the type of business activity:

Equipment used in the business activity:

Days and hours of operation:

Number of employees:

Nuisance abatement measures that will be implemented:

Noise abatement measures:

Vibration abatement measures:

Dust control measures:

Measures to control fumes or odors:

Visual screening measures (plants, fences, walls, etc.)

DESCRIPTION OF ANY OTHER FEATURES OR CHARACTERISTICS THAT MAY BE SUBJECT TO ZONING REGULATIONS

Exterior appearance of any structure, including a description of the building materials used, the height of eaves, the color of the structure, etc. (required for conditional use permit applications for accessory structures in excess of 1,200 square feet)

Steel siding and roof. Siding: Charcoal Black. Roof and trim: Midnight Black. Two roll-up doors, one access door and five aluminum windows will be white. Roof pitch is 4/12 with height of ridge approximately 17'8" from foundation. 12' lean-to attached to west end wall, open wall south end.

Any proposed excavation or fill, the amount of material that will be mined in a non-metallic mining operation, the amount of material that will be stockpiled, etc.

Build will required excavation of some trees and fill adequate to level base.

Other features or characteristics (signs, fences, outdoor display areas, etc.)

N/A

SCALED SITE PLAN- <https://beacon.schneidercorp.com/> (Select Wisconsin and then Eau Claire County, WI-View Map)

<input type="checkbox"/> Show parcel and building dimensions of all existing and proposed structures	<input type="checkbox"/> Landscape and screening plans
<input type="checkbox"/> Show all signs, fences and other features that may be regulated by zoning	<input type="checkbox"/> Show the well and septic system
<input type="checkbox"/> Site access, driveway, and nearest road (labeled)	<input type="checkbox"/> Parking areas with spaces
<input type="checkbox"/> Drainage plans including the erosion control plan	<input type="checkbox"/> Show all navigable water ways, wetlands, floodplains, slopes in excess of 20%, and any other unique limiting condition of the property
<input type="checkbox"/> The layout of the use within the structure; if the use only occupies part of the structure, the floor plan should illustrate only the layout of that part of the structure occupied by the use and any access to the use through halls, doorways, etc.	
<input type="checkbox"/> The location of any equipment that will be used	

FOR ALL NON-AGRICULTURAL ACCESSORY STRUCTURES

<input type="checkbox"/> Show floor plan, including attics
<input type="checkbox"/> Show scaled building elevations
<input type="checkbox"/> Show color scheme
<input type="checkbox"/> Provide information addressing 59.69 (5e) with substantial evidence supporting your request



Date: 07/02/2024 - 1:25 PM

Design Name: Post Frame Design

Design ID: 305353758235

Estimated price: \$29,406.43 *

*Today's estimated price, future pricing may go up or down. Tax, labor, and delivery not included.



How to recall and purchase a saved design at home



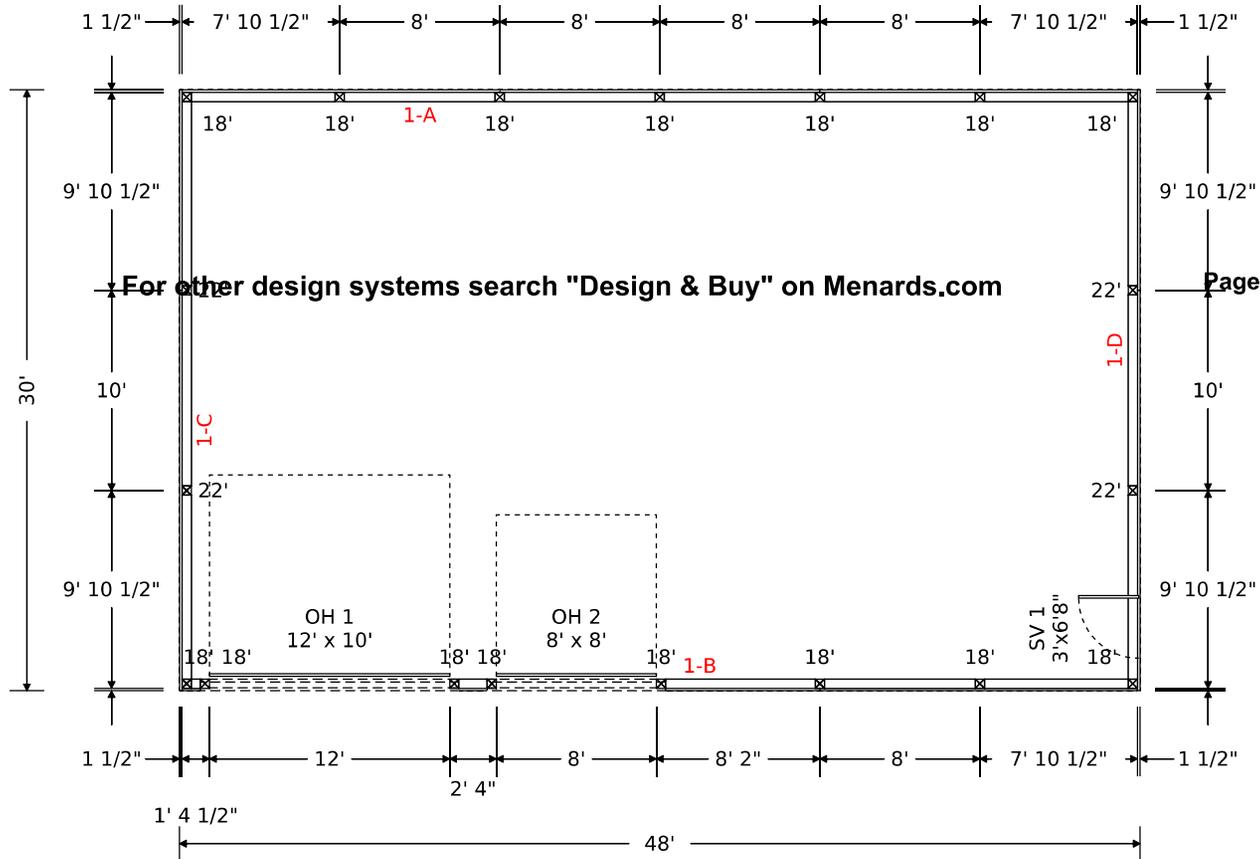
OR

1. On Menards.com, enter "Design & Buy" in the search bar
2. Select the Buildings Designer
3. Recall your design by entering Design ID: 305353758235
4. Follow the on-screen purchasing instructions

How to purchase at the store

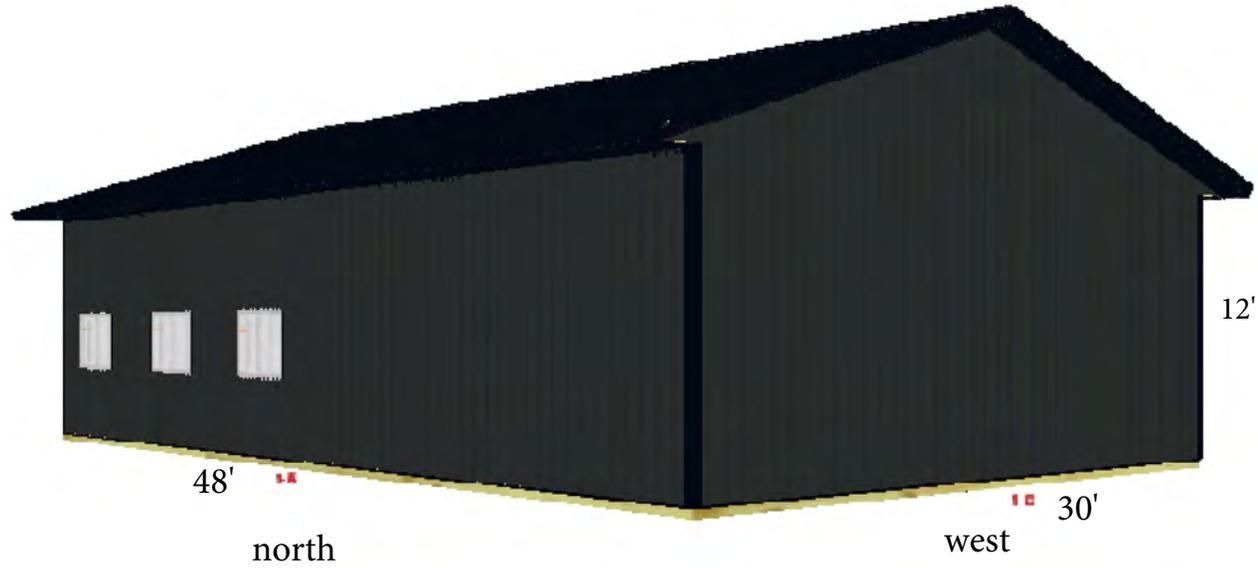
1. Enter Design ID: 305353758235 at the Design-It Center Kiosk in the Building Materials Department
2. Follow the on-screen purchasing instructions.

FLOOR PLAN

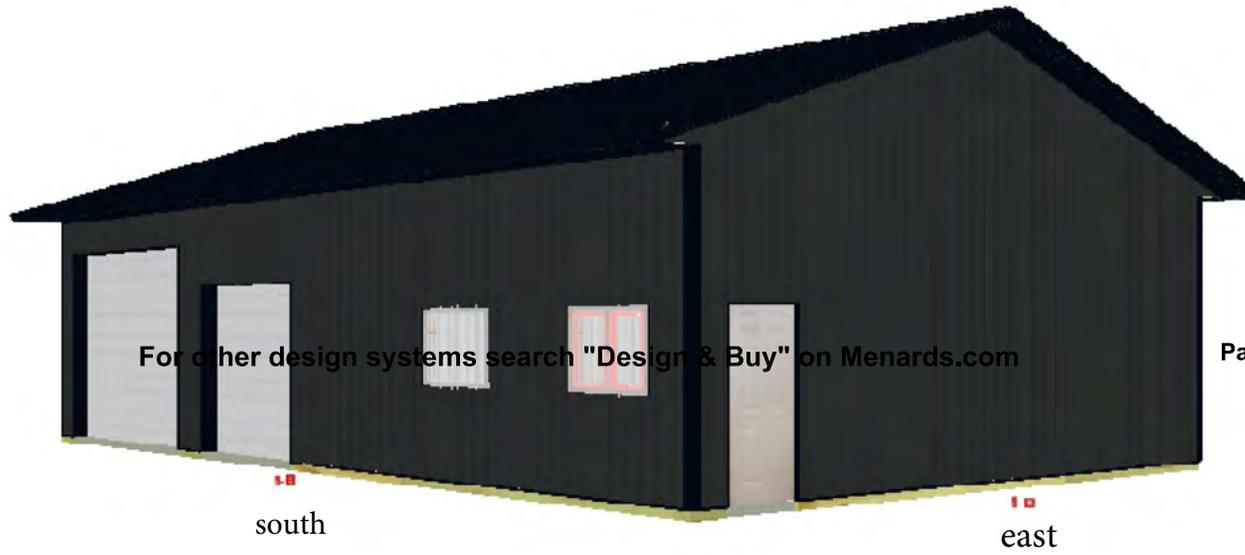




Elevation Views



*12' leanto to be built on west end wall (not shown)
*extends total length of footprint to 60'



For other design systems search "Design & Buy" on Menards.com

Page 2 of 7

south

east



Congratulations, you have taken the first step towards making your new post frame building a reality!

- You have selected Menards to provide you with superior products produced by Midwest Manufacturing that will meet your needs. For a more detailed look at these premium products visit us on the web at www.midwestmanufacturing.com.

*Delivery charge is not included in price. Items ordered to complete your building from vendors other than Midwest Manufacturing are not available for pickup from the plant.

For other design systems search "Design & Buy" on Menards.com

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Building Information

1. Building Use:	Code Exempt
2. Width:	30 ft
3. Length:	48 ft
4. Inside Clear Height:	12 ft
5. Floor Finish:	Concrete
6. Floor Thickness:	4 in
7. Post Foundation:	Post Embedded
8. Post Embedment Depth:	4 ft
9. Footing Pad Size:	14 in x 4 in

Wall Information

1. Post Spacing:	8 ft
2. Post Type:	Posts
3. Girt Type:	Bookshelf
4. Exterior Wall Panel:	Pro-Rib
5. Exterior Wall Color:	Charcoal Black
6. Trim Color:	Midnight Black
7. Gable Accent:	No
8. Sidewall A Eave Light:	None
9. Sidewall B Eave Light:	None
10. Wall Fastener Location:	In the Flat
11. Bottom Trim:	Yes
12. Gradeboard Type:	2x8 Treated Gradeboard

Interior Finish

1. Wall Insulation Type:	6" Batt 23"
2. Wall Liner Type:	Dura Panel
3. Wall Liner Color:	White
4. Roof Condensation Control:	

Roof Information

1. Pitch:	4/12
2. Truss Spacing:	8 ft
3. Roof Type:	Pro-Rib
4. Roof Color:	Midnight Black
5. Ridge Options:	Universal Ridge Cap
6. Roof Fastener Location:	On the Rib
7. Endwall Overhangs:	1 ft
8. Sidewall Overhangs:	2 ft
9. Fascia Size:	6 in Fascia
10. Soffit Color:	Midnight Black
11. Skylight Size:	None
12. Ridge Vent Quantity:	None
13. Ceiling Liner Type:	Dura Panel
14. Purlin Placement:	On Edge
15. Ceiling Liner Color:	White
16. Ceiling Insulation Type:	10" Batt (R-30)

Accessories

1. Outside Closure Strip:	Premium Vented
2. Inside Closure Strip:	Standard
3. Gable Vent Type:	None
4. Cupola Size:	None
5. Gutters:	Yes
6. Gutters Color:	Midnight Black
7. End Cap:	No
8. Mini Print:	Email Only

For other design systems search "Design & Buy" on Menards.com

Page 4 of 7



Doors & Windows

Name	Size	Wall
Window	48"x36"	1-A
Window	48"x36"	1-A
Window	48"x36"	1-A
Overhead Door	12' x 10'	1-B
Overhead Door	8' x 8'	1-B
Window	48"x36"	1-B
Window	48"x36"	1-B
Service Door	36"x80"	1-D

Floor type (concrete, dirt, gravel) is NOT included in estimated price. The floor type is used in the calculation of materials needed. Labor, foundation, steel beams, paint, electrical, heating, plumbing, and delivery are also NOT included in estimated price. This is an estimate. It is only for general price information.

This is not an offer and there can be no legally binding contract between the parties based on this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form. The availability of materials is subject to inventory conditions. MENARDS IS NOT RESPONSIBLE FOR ANY LOSS INCURRED BY THE GUEST WHO RELIES ON PRICES SET FORTH HEREIN OR ON THE AVAILABILITY OF ANY MATERIALS STATED HEREIN. All information on this form, other than price, has been provided by the guest and Menards is not responsible for any errors in the information on this estimate, including but not limited to quantity, dimension and quality. Please examine this estimate carefully. MENARDS MAKES NO REPRESENTATIONS, ORAL, WRITTEN OR OTHERWISE THAT THE MATERIALS LISTED ARE SUITABLE FOR ANY PURPOSE BEING CONSIDERED BY THE GUEST. BECAUSE OF WIDE VARIATIONS IN CODES, THERE ARE NO REPRESENTATIONS THAT THE MATERIALS LISTED HEREIN MEET YOUR CODE REQUIREMENTS. THE PLANS AND/OR DESIGNS PROVIDED ARE NOT ENGINEERED. LOCAL CODE OR ZONING REGULATIONS MAY REQUIRE SUCH STRUCTURES TO BE PROFESSIONALLY ENGINEERED AND CERTIFIED PRIOR TO CONSTRUCTION.

For other design systems search "Design & Buy" on Menards.com

Page 5 of 7

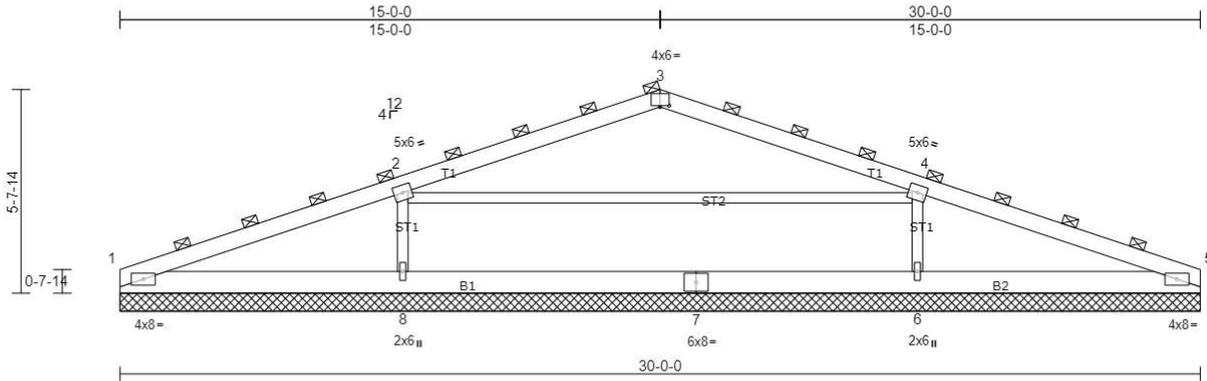
Job	Truss	Truss Type	Qty	Ply	Job Reference (optional)
QTREC0784200	P30E	GABLE	1	1	

Midwest Manufacturing, Eau Claire, WI

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Page: 1

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Scale = 1:50

Plate Offsets (X, Y): [3:0-3:0,0-0-7]

Loading	(psf)	Spacing	4-0-0	CSI	DEFL	in	(loc)	l/defl	L/d	PLATES	GRIP	
TCLL (roof)	35.0	Plate Grip DOL	1.15	TC	0.88	Vert(LL)	n/a	-	n/a	999	MT20	197/144
Snow (Ps/Pg)	28.4/50.0	Lumber DOL	1.15	BC	0.52	Vert(TL)	n/a	-	n/a	999		
TCDL	4.0	Rep Stress Incr	NO	WB	0.36	Horiz(TL)	0.03	5	n/a	n/a		
BCLL	0.0	Code	IBC2018/TPI2014	Matrix-S								
BCDL	5.0											
											Weight: 167 lb	FT = 15%

LUMBER

TOP CHORD 2x6 SP No.1
 BOT CHORD 2x8 SPF No.2
 OTHERS 2x4 SPF Stud *Except* ST2:2x4 SPF No.2

BRACING

TOP CHORD 2-0-0 oc purlins (5-1-5 max.)
 BOT CHORD Structural wood sheathing directly applied or 10-0-0 oc bracing.

REACTIONS All bearings 30-0-0.

(lb) - Max Horiz 1=89 (LC 12)
 Max Uplift All uplift 100 (lb) or less at joint(s) except 1=155 (LC 8),
 5=-156 (LC 9), 6=-360 (LC 13), 8=-361 (LC 12)
 Max Grav All reactions 250 (lb) or less at joint(s) except 1=980 (LC 2),
 5=980 (LC 2), 6=1745 (LC 17), 8=1745 (LC 16)

FORCES

(lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
 TOP CHORD 1-2=-1575/202, 2-3=-1612/306, 3-4=-1612/305, 4-5=-1575/201
 BOT CHORD 1-8=-136/1328, 7-8=-136/1328, 6-7=-136/1328, 5-6=-136/1328
 WEBS 2-8=-1457/379, 4-6=-1457/378

JOINT STRESS INDEX

1 = 0.75, 2 = 0.25, 2 = 0.59, 3 = 0.43, 4 = 0.25, 4 = 0.59, 5 = 0.75, 6 = 0.42, 7 = 0.69, 8 = 0.42, 9 = 0.59 and 10 = 0.59

NOTES

- Unbalanced roof live loads have been considered for this design.
- Wind: ASCE 7-16; Vult=105mph (3-second gust) Vasd=83mph, TCDL=2.4psf, BCDL=0.6psf, h=25ft; Cat. I; Exp C; Enclosed; MWFRS (envelope); cantilever left and right exposed; end vertical left and right exposed; Lumber DOL=1.60 plate grip DOL=1.60
- Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the face), see Standard Industry Gable End Details as applicable, or consult qualified building designer as per ANSI/TPI 1.
- TCLL: ASCE 7-16; Pr=35.0 psf (roof LL); Lum DOL=1.15 Plate DOL=1.15); Pg=50.0 psf; Ps=28.4 psf (Lum DOL=1.15 Plate DOL=1.15); Is=0.8; Rough Cat C; Fully Exp.;
- Ce=0.9; Cs=0.94; Ct=1.20; Unobstructed slippery surface
- Roof design snow load has been reduced to account for slope.
- Unbalanced snow loads have been considered for this design.
- Dead loads shown include weight of truss. Top chord dead load of 5.0 psf (or less) is not adequate for a shingle roof. Architect to verify adequacy of top chord dead load.
- Gable requires continuous bottom chord bearing.
- Vertical gable studs spaced at 7'-10-4 oc and horizontal gable studs spaced at 2'-0-0 oc.
- This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 154 lb uplift at joint 1, 155 lb uplift at joint 5, 360 lb uplift at joint 8 and 359 lb uplift at joint 6.

- 12) This truss is designed in accordance with the 2018 International Building Code section 2306.1 and referenced standard ANSI/TPI 1.
- 13) Graphical purlin representation does not depict the size or the orientation of the purlin along the top and/or bottom chord.

LOAD CASE(S) Standard

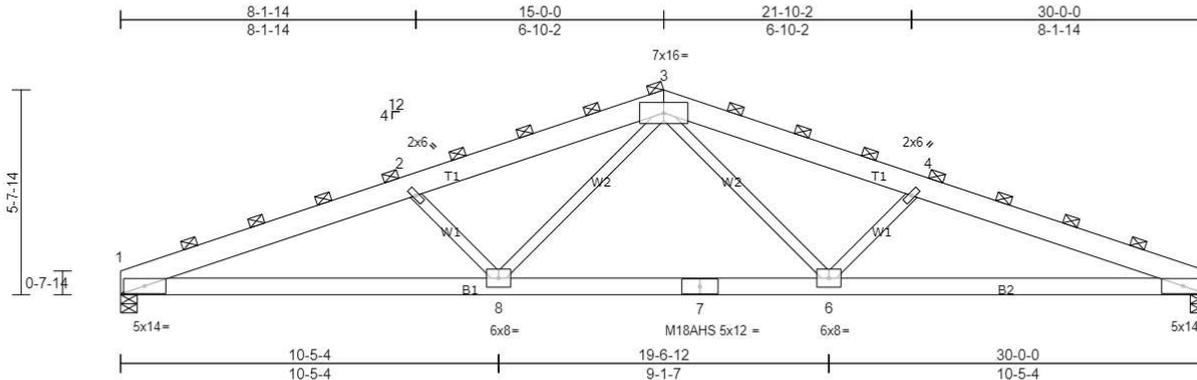
Job	Truss	Truss Type	Qty	Ply	Job Reference (optional)
QTREC0794293	P3035NEW	Common	1	1	

Midwest Manufacturing, Eau Claire, WI

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Page: 1

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Scale = 1.49:8

Plate Offsets (X, Y): [1:0-6-14,0-2-8], [5:0-6-14,0-2-8]

Loading	(psf)	Spacing	8-0-0	CSI	DEFL	in	(loc)	l/defl	L/d	PLATES	GRIP	
TCLL (roof)	30.0	Plate Grip DOL	1.15	TC	0.79	Vert(LL)	-0.42	6-8	>838	240	MT20	244/190
Snow (Ps/Pg)	28.4/50.0	Lumber DOL	1.15	BC	0.82	Vert(CT)	-0.57	6-8	>624	180	M18AHS	186/179
TCDL	4.0	Rep Stress Incr	NO	WB	0.78	Horz(CT)	0.19	5	n/a	n/a		
BCLL	0.0	Code	IBC2018/TPI2014	Matrix-R								
BCDL	5.0											
											Weight: 191 lb	FT = 0%

LUMBER

TOP CHORD 2x8 SP 2400F 2.0E
 BOT CHORD 2x8 SP 2400F 2.0E
 WEBS 2x4 SPF Stud *Except* W2.2x4 SPF No.2

BRACING

TOP CHORD 2-0-0 oc purlins (2-7-10 max.).
 BOT CHORD Structural wood sheathing directly applied or 7-2-4 oc bracing.

REACTIONS

(lb/size) 1=4414/0-5-8, (min. 0-3-13), 5=4414/0-5-8, (min. 0-3-13)
 Max Horiz 1=213 (LC 11)
 Max Uplift 1=-920 (LC 7), 5=-920 (LC 8)
 Max Grav 1=4609 (LC 2), 5=4609 (LC 2)

FORCES

(lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
 TOP CHORD 1-2=-10624/2115, 2-3=-9244/1845, 3-4=-9244/1846, 4-5=-10624/2117
 BOT CHORD 1-8=-1964/9767, 7-8=-1106/6878, 6-7=-1106/6878, 5-6=-1818/9767
 WEBS 2-8=-2434/801, 3-8=-499/2959, 3-6=-501/2959, 4-6=-2434/803

JOINT STRESS INDEX

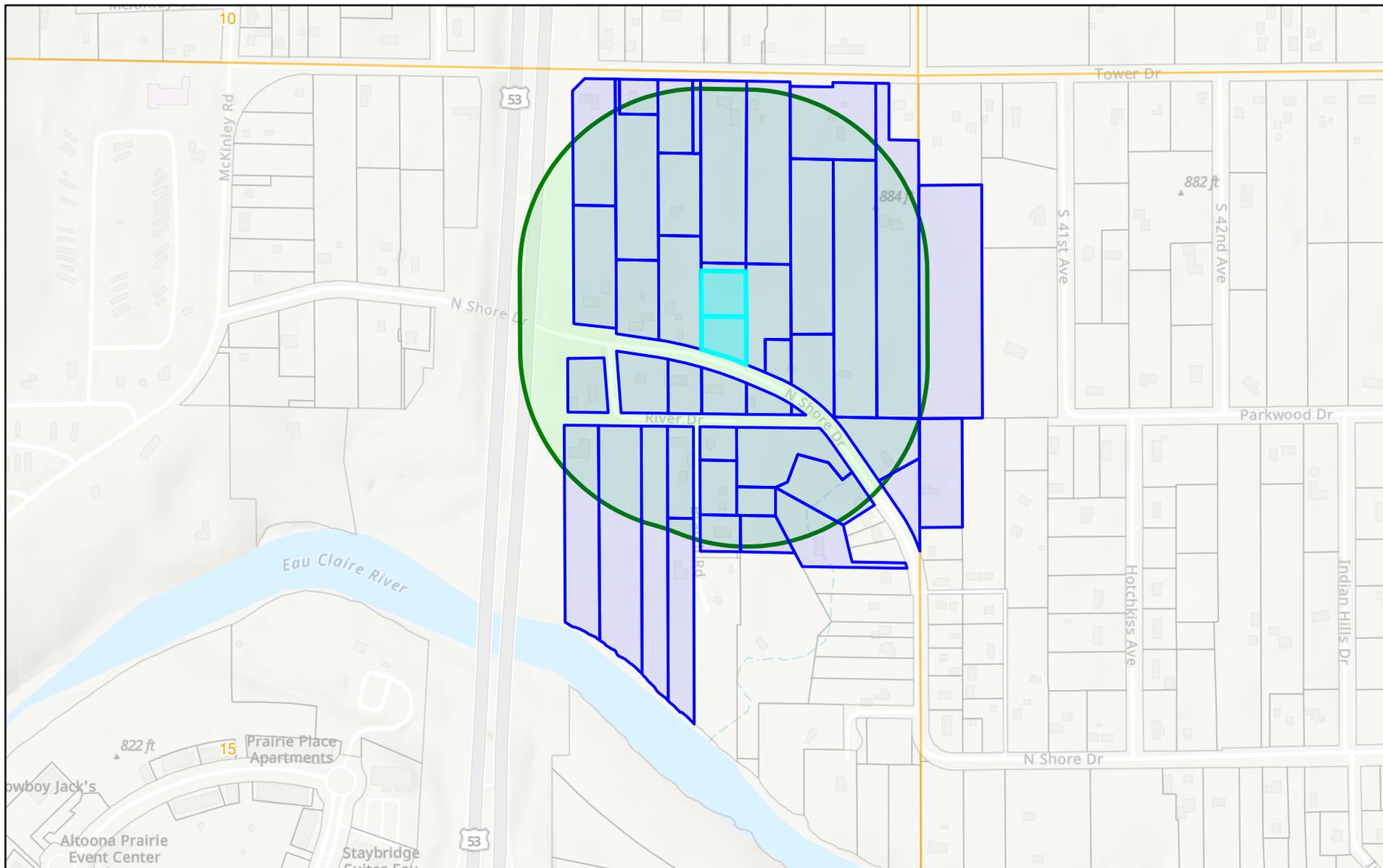
1 = 0.99, 2 = 0.84, 3 = 0.93, 4 = 0.84, 5 = 0.99, 6 = 0.80, 7 = 0.64 and 8 = 0.80

NOTES

- Unbalanced roof live loads have been considered for this design.
- Wind: ASCE 7-16; Vult=115mph (3-second gust) Vasd=91mph; TCDL=2.4psf; BCDL=3.0psf; h=25ft; Cat. I; Exp C; Enclosed; MWFRS (envelope); cantilever left and right exposed; end vertical left and right exposed; Lumber DOL=1.60 plate grip DOL=1.60
- TCLL: ASCE 7-16; Pr=30.0 psf (roof LL); Lum DOL=1.15 Plate DOL=1.15; Pg=50.0 psf; Ps=28.4 psf (Lum DOL=1.15 Plate DOL=1.15); Is=0.8; Rough Cat C; Fully Exp.; Ce=0.9; Cs=0.94; Ct=1.20; Unobstructed slippery surface
- Roof design snow load has been reduced to account for slope.
- Unbalanced snow loads have been considered for this design.
- Dead loads shown include weight of truss. Top chord dead load of 5.0 psf (or less) is not adequate for a shingle roof. Architect to verify adequacy of top chord dead load.
- As requested, plates have not been designed to provide for placement tolerances or rough handling and erection conditions. It is the responsibility of the fabricator to increase plate sizes to account for these factors.
- All plates are MT20 plates unless otherwise indicated.
- Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 920 lb uplift at joint 1 and 920 lb uplift at joint 5.
- This truss is designed in accordance with the 2018 International Building Code section 2306.1 and referenced standard ANSI/TPI 1.

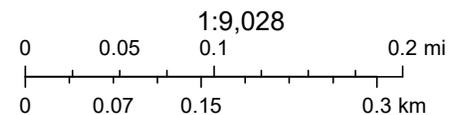
LOAD CASE(S) Standard

Public Notification



7/15/2024, 9:53:42 AM

 County Boundary  Tax Parcel
 Section



Esri, NASA, NGA, USGS, FEMA, Esri Community Maps Contributors, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph,

FirstName LastName	Address	City State Zip
KARSTEN POWELL	3939 TOWER DR	EAU CLAIRE WI 54703-2258
ANDREW DERCKS	3854 NORTH SHORE DR	EAU CLAIRE WI 54703-2265
JOHN ALBERTSON	3935 TOWER DR	EAU CLAIRE WI 54703-2258
MARK PARKER	3827 TOWER RD	EAU CLAIRE WI 54703-2256
JULIE A HEPFLER TRUST	3821 TOWER DR	EAU CLAIRE WI 54703-2256
WAYNE SEVERSON	3793 NORTH SHORE DR	EAU CLAIRE WI 54703-2264
BONNIE HARPER	3788 NORTH SHORE DR	EAU CLAIRE WI 54703-2267
JARED EDER	3807 TOWER DR	EAU CLAIRE WI 54703-2256
RONALD BULMAN	3783 NORTH SHORE DR	EAU CLAIRE WI 54703-2264
DAVID HANSON	3797 NORTH SHORE DR	EAU CLAIRE WI 54703-2264
GERALD L & DAWN R NUENKE	2815 N 54TH AVE	EAU CLAIRE WI 54703-8763
RONALD LARSON	1006 PINE CT	EAU CLAIRE WI 54703-2229
NEIL R & DEBBIE J NELSON	3789 TOWER DR	EAU CLAIRE WI 54703-2254
RICKY DEHNKE	3844 NORTH SHORE DR	EAU CLAIRE WI 54703-2265
SHANNON KALINA	3849 NORTH SHORE DR	EAU CLAIRE WI 54703-2264
LARRY R & JEANETTE M MCSORLEY	937 BRANDT AVE	EAU CLAIRE WI 54703-2211
RICHARD ELLINGSON	530 PLEASANT HILL RD	EAU CLAIRE WI 54703-9136
RONALD C & LORRAINE S MASTIN	3780 NORTH SHORE DR	EAU CLAIRE WI 54703-2267
MICHAEL WEBER	3828 NORTH SHORE DR	EAU CLAIRE WI 54703-2265
MICHAEL JOHNSON	3774 NORTH SHORE DR	EAU CLAIRE WI 54703-2267
ERIN NUTTER	3821 NORTH SHORE DR	EAU CLAIRE WI 54703-2264
KIMBERLY SCHOENWETTER	3816 NORTH SHORE DR	EAU CLAIRE WI 54703-2265
KELLY ROBERTS	3793 TOWER DR	EAU CLAIRE WI 54703-2254
SAWYER STURZ	3803 TOWER DR	EAU CLAIRE WI 54703-2256
BOBBY C & JUDITH A STRADER	4007 RIVER DR	EAU CLAIRE WI 54703-2237
SANFORD TRUST	3743 RIVER DR	EAU CLAIRE WI 54703-2233
MATTHEW EMERSON	927 BRANDT AVE	EAU CLAIRE WI 54703-2211
CHARLES F STUMPNER	3873 NORTH SHORE DR	EAU CLAIRE WI 54703-2264
KEVIN STAGLIANO	3840 NORTH SHORE DR	EAU CLAIRE WI 54703-2265
CORY WEISSINGER	950 BRANDT AVE	EAU CLAIRE WI 54703-2210
TODD LUNDQUIST	3749 RIVER DR	EAU CLAIRE WI 54703-2233
JAMES F & SUSAN J FISHER	3957 RIVER DR	EAU CLAIRE WI 54703-2260
PJH HOLDINGS LLC	E3025 HAILEY LN	EAU CLAIRE WI 54701-9363

1 **Enrolled No.**

2 **ORDINANCE**

3 **File No. 24-25/056**

4 TO CREATE SECTION 18.230.170 OF THE CODE: GROUNDWATER PROTECTION
5 OVERLAY DISTRICT – CITY OF ALTOONA:

6 The County Board of Supervisors of the County of Eau Claire does ordain as follows:

7
8 **SECTION 1.** That Section 18.230.170 of the code be created to read:

9
10 18.230.170 Groundwater Protection Overlay District- City of Altoona. A groundwater
11 protection overlay district is created for the City of Altoona with the boundaries as shown on the
12 map dated October 2023, entitled Map of the Groundwater Protection Districts for Public Water
13 Supply Recharge Areas in Eau Claire County – City of Altoona on file in the office of the
14 department.

15
16
17 **ADOPTED:**

18
19 Committee on Planning & Development

	AYE	NAY	ABSTAIN
20 _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
21 Supervisor Robin Leary	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
22 _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
23 Supervisor Jim Dunning	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
24 _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
25 Supervisor Dane Zook	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
26 _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
27 Supervisor Caleb Aichele	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
28 _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
29 Supervisor Michele Skinner	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

30
31 Dated this _____ day of _____, 2024

32
33
34
35
36 RE/yk
37

June 28, 2024

Subject: Request to Incorporate Wellhead (Groundwater) Protection Overlay Districts into the County Code (Chapter 18.230)

Mr. Rod Eslinger
Planning Director
Eau Claire County
721 Oxford Avenue
Eau Claire, WI 54703

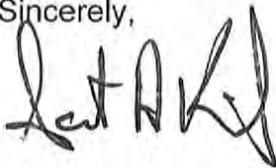
Dear Mr. Eslinger,

I hope this letter finds you well. I am writing to formally request the incorporation of wellhead (groundwater) protection overlay districts into the Eau Claire County Code, specifically in Chapter 18.230.

I look forward to your favorable response and am available to discuss this matter further or provide any additional information as needed. You can reach me at (715) 839-2948 or skwick@ci.altoona.wi.us.

Thank you for your attention to this important issue.

Sincerely,



Scott Kwick
Public Works Director
City of Altoona



December 14, 2023

CINDY BAUER CLERK
CITY OF ALTOONA
1303 LYNN AVE
ALTOONA WI 54720

Project Number: W-2023-0946
PWSID#: 61802807
DNR Region: WCR
County: EAU CLAIRE

SUBJECT: WATER SYSTEM WELLHEAD PROTECTION PLAN APPROVAL

Dear Ms. Bauer:

The Wisconsin Department of Natural Resources, Division of Environmental Management, Bureau of Drinking Water and Groundwater, is conditionally approving a wellhead protection plan for the City of Altoona.

Water system name: Altoona Waterworks

Date received: 10/23/2023

Consultant: Andrew Aslesen - Wisconsin Rural Water Association

Regional DNR Contact: Sonny Zentner, 1300 W Clairmont, Eau Claire, WI 54701, (715) 928-1624,
sonny.zentner@wisconsin.gov

DNR Plan Reviewer: Ken Scherer, 101 South Webster Street, P.O. Box 7921, Madison, WI 53707-7921, (715) 520-3981, kenneth.scherer@wisconsin.gov

Project description: On behalf of the City of Altoona (City), Wisconsin Rural Water Association submitted a Wellhead Protection Plan (WHPP) for existing Well Nos. 1, 3, 4, 5, 6, 7, 8, and 9. A copy of the City's draft Well Head Protection Ordinance (WHPO) was also included in the submittal. The department is hereby approving the WHPP subject to the conditions below.

Background: The City's water system consists of six active groundwater wells (Well Nos. 1, 3, 4, 5, 6, and 7) and two newly constructed groundwater wells (Well Nos. 8 and 9), two elevated storage tanks, and a distribution system containing two pressure zones and one booster station. Liquid sodium hypochlorite is injected into the discharge piping of each well as a disinfectant and liquid sodium hydroxide is injected into the discharge piping of each well for pH adjustment and distribution system corrosion control. The average day water demand for the system is approximately 970,000 gallons.

Well No. 1 (WUWN BF752) is located at the south end of 1st Street West in the central part of the City. The well is surrounded by residential land use on all sides. Well No. 1 was constructed in 1919, obtains water from a sandstone formation, and has a total depth of 194 feet. A 16-inch diameter outer casing extends from the surface to a depth of 21 feet. A 10-inch diameter casing extends from the surface to a depth of 71 feet and is sealed in place with grout. A 10-inch diameter open borehole extends from 71 feet to a depth of 194 feet. Auxiliary power for the well is provided by a portable diesel-fueled engine generator that can power the well pump and pumphouse at full capacity.

Well No. 3 (WUWN HO685) is located 2,100 feet east of Well No. 1 on the southwest corner of the intersection of Bradwood Avenue and 7th Street South in the central part of the City. The well is surrounded by residential land use to the north, west, and south and Altoona School property to the east. Well No. 3 was constructed in 1958 and reconstructed in 1996 by CTW Corporation, obtains water from a sandstone formation, and has a total depth of 195 feet. A 30-inch diameter outer casing extends from the surface to a depth of 50 feet. A 20-inch diameter casing extends from the surface to a depth of 135 feet and is sealed in place with cement grout. A 12-inch diameter casing extends from the surface to a depth of 136 feet and is sealed in place with neat cement grout. A 12-inch diameter open borehole extends from 136 feet to a depth of 195 feet. Auxiliary power for the well is provided by a portable diesel-fueled engine generator that can power the well pump and pumphouse at full capacity.

Well No. 4 (WUWN BF754) is located 620 feet north/northeast of Well No. 3 in the northwest part of the Altoona School property in the central part of the City. The well is surrounded by residential land use to the north and west and Altoona School property to the south and east. Well No. 4 was constructed in 1966 by Keys Well Drilling Company, obtains water from a sandstone formation, and has a total depth of 188 feet. A 20-inch diameter outer casing extends from the surface to a depth of 60 feet. A 12-inch diameter casing extends from the surface to a depth of 140 feet and is sealed in place with cement. A 20-inch diameter open borehole extends from 140 feet to a depth of 188 feet. Auxiliary power for the well is provided by a portable diesel-fueled engine generator that can power the well pump and pumphouse at full capacity.

Well No. 5 (WUWN BF755) is located 2,100 feet east/northeast of Well No. 1 on the northeast corner of the intersection of Bartlett Avenue and 5th Street East in the northeast part of the City. The well is surrounded by industrial, commercial, and a railroad yard to the northeast and residential land use to the south and west. Well No. 5 was constructed in 1972 by Keys Well Drilling Company, obtains water from a sandstone formation, and has a total depth of 172 feet. A 20-inch diameter outer casing extends from the surface to a depth of 102 feet. A 14-inch diameter casing extends from the surface to a depth of 126 feet and is sealed in place with neat cement. A 19-inch diameter open borehole extends from 126 feet to a depth of 172 feet. No auxiliary power for the well is provided.

Well No. 6 (WUWN BF756) is located 2,100 feet southeast of Well No. 1 on the northwest corner of the intersection of Devney Drive and 3rd Street East. The well is surrounded by residential land use on all sides. Well No. 6 was constructed in 1983 by William D. Brunner, obtains water from a sandstone formation, and has a total depth of 185 feet. An 18-inch diameter outer casing extends from the surface to a depth of 100 feet. A 12-inch diameter casing extends from the surface to a depth of 150 feet and is sealed in place with neat cement. A 17-inch diameter open borehole extends from 150 feet to a depth of 185 feet. Auxiliary power for the well is provided by a portable diesel-fueled engine generator that can power the well pump and pumphouse at full capacity.

Well No. 7 (WUWN VX766) is located 1,100 feet southeast of Well No. 6 at the north end of Bob Brown Boulevard in the southeast-central part of the City. The well is surrounded by residential land use to the north and commercial and industrial land use to the south. Well No. 7 was constructed in 2008 by Layne Chrisensen Company, obtains water from a sandstone formation, and has a total depth of 245 feet. A 16-inch diameter casing extends from the surface to a depth of 101 feet and is sealed in place with neat cement. A 15-inch diameter open borehole extends from 101 feet to a depth of 245 feet. Auxiliary power for the well is provided by a portable diesel-fueled engine generator that can power the well pump and pumphouse at full capacity.

Well No. 8 (WUWN AAT578) is located 7,450 feet east/southeast of Well No. 7 on the east side of Nine Mile Creek Road in the far east part of the City. The well is surrounded by agricultural land on all sides. Well No. 8 was constructed in 2023 by Traut Companies, obtains water from a sandstone formation, and has a total depth of 140 feet. A 16-inch diameter casing extends from the surface to a depth of 69 feet and is sealed in place with neat cement. A 15-inch diameter open borehole extends from 69 feet to a depth of 140 feet. Auxiliary power for the

well is provided by a stationary natural gas-fueled engine generator that can power the well pump and pumphouse at full capacity.

Well No. 9 (WUWN AAT579) is located 3,200 feet southeast of Well No. 7 on the southeast corner of the intersection of Baumbach Way and Kyler Street in the southeast part of the City. The well is surrounded on all sides by former agricultural land that has recently been developed into residential land use. Well No. 9 was constructed in 2023 by Traut Companies, obtains water from a sandstone formation, and has a total depth of 163 feet. A 16-inch diameter casing extends from the surface to a depth of 74 feet and is sealed in place with neat cement. A 15-inch diameter open borehole extends from 74 feet to a depth of 163 feet. Auxiliary power for the well is provided by a stationary natural gas-fueled engine generator that can power the well pump and pumphouse at full capacity.

Wellhead Protection Ordinance: The WHPP establishes a well head protection area (WHPA) which encompasses the recharge area equivalent to a 5-year time of travel for the wells. The WHPA extends to boundaries consisting of roadways, railways, and property lines. Portions of the WHPAs for Well Nos.8 and 9 extend beyond the corporate limits of the city of Altoona into the Town of Washington. The City intends to work with Eau Claire County and the Town of Washington to protect the portions of the wellhead protection area outside of the City. The draft WHPO provides zoning requirements that address maintaining separation distances between the wells and potential contamination sources. The WHPO should be formally adopted, and the adopted ordinance forwarded to the department within six months of the date of this letter.

Monitoring Waivers: In order to conduct an assessment to determine the well's vulnerability to potential contamination sources and evaluate the possibility of obtaining monitoring waivers, a Public Water System Monitoring Waiver Application must be submitted to the department. Monitoring waivers reduce the frequency of monitoring or eliminate certain monitoring requirements. Please contact **Dino Tisoris of the department's Madison office at (608) 264-6122**, constantine.tisoris@wisconsin.gov. The application should be completed and returned to the department prior to placing the well into service so any waiver will be in effect as soon as possible.

Approval conditions related to Chapters NR 810 and NR 811, Wis. Adm. Code:

1. A digital copy of the formally adopted wellhead protection ordinance shall be sent to the department within six months of the date of this letter. One copy shall be sent to: Sonny Zentner, sonny.zentner@wisconsin.gov and one copy shall be sent to Ken Scherer, kenneth.scherer@wisconsin.gov (s. NR 811.12(6)(i), Wis. Adm. Code)
2. Sonny Zentner shall be contacted to conduct a startup inspection of the completed water system improvements as he deems it necessary and to approve placing the wells in service. (s. NR 810.26(1), Wis. Adm. Code)

Approval constraints: The project was reviewed in accordance with ss. 281.34 and 281.41, Wis. Stats., for compliance with Chapters NR 108, NR 810, NR 811 and NR 820, Wis. Adm. Code and is hereby approved in accordance with ss. 281.34 and 281.41, Wis. Stats., subject to the conditions listed above.

This approval is based upon the representation that the plans submitted to the department are complete and accurately represent the project being approved. Any approval of plans that do not fairly represent the project because they are incomplete, inaccurate or of insufficient scope and detail is voidable at the option of the department.

Be advised that this project may require permits or approvals from other federal, state or local authorities. For example, a certificate of authority from the Public Service Commission of Wisconsin may be required per s. 196.49, Wis. Stats. and ch. PSC 184, Wis. Adm. Code.

Appeal rights: If you believe that you have a right to challenge this decision, you should know that the Wisconsin Statutes and administrative rules establish time periods within which requests to review Department decisions must be filed. To request a contested case hearing pursuant to s. 227.42, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to serve a petition for hearing on the Secretary of the Department of Natural Resources. Requests for contested case hearings must be made in accordance with ch. NR 2, Wis. Adm. Code. Filing a request for a contested case hearing does not extend the 30 day period for filing a petition for judicial review. For judicial review of a decision pursuant to ss. 227.52 and 227.53, Wis. Stats., you must file your petition with the appropriate circuit court and serve the petition on the Department within 30 days after the decision is mailed. A petition for judicial review must name the Department of Natural Resources as the respondent.

STATE OF WISCONSIN
DEPARTMENT OF NATURAL RESOURCES

For the Secretary



Ken W. Scherer, P.E.
Public Water Engineering Section
Bureau of Drinking Water and Groundwater

cc: Mike Golat – City of Altoona
Dave Walter – City of Altoona
Steve Durham – City of Altoona
Andrew Aslesen – Wisconsin Rural Water Association
Sonny Zentner – DNR, Eau Claire
Greg Moeller – DNR, Appleton
Dave Johnson – DNR, Madison
PSC – Madison

ORDINANCE 4A-24

An ordinance creating Chapter 19.45 of the Altoona Municipal Code “Wellhead Protection Area Overlay District” of the City of Altoona, Eau Claire County, Wisconsin, relating to the Protection of the Municipal Water Supply.

THE COMMON COUNCIL OF THE CITY OF ALTOONA DOES HEREBY ORDAIN AS FOLLOWS:

Section One:

That Title 19, Chapter 19.45 “Wellhead Protection Area Overlay District”, of the code of ordinances, City of Altoona, Wisconsin is hereby created.

Section Two:

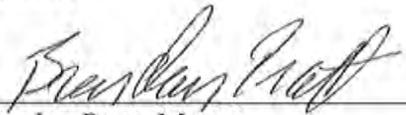
A copy of Chapter 19.45 “Wellhead Protection Area overlay District” is permanently on file and open to public inspection in the office of the Altoona City Clerk, and is incorporated by reference herein.

Section Three:

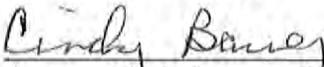
If any section, subsection, sentence, clause, paragraph or phrase of this ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, or other applicable administrative or governing body, such decision shall not affect the validity of any other section, subsection, sentence, clause, paragraph or phrase thereof irrespective of the fact that any one or more sections, subsections, sentences, clauses, paragraphs, or phrases may be declared invalid or unconstitutional.

Section Four: This Ordinance shall take effect and be in force from and after its passage and publication as provided by law.

Dated this 11th day of April, 2024.



Brendan Pratt, Mayor



Attest: Cindy Bauer, City Clerk

Approved: 4/11/2024
Published: 4/18/2024
Adopted: 4/11/2024

Title 19

ZONING

Chapters:

- 19.04 General Provisions
- 19.08 Definitions
- 19.12 Administration and Enforcement
- 19.15 Environmental and Natural Resources
- 19.16 Floodplain Overlay Zone - REPEALED
- 19.17 Shoreland-Wetland Overlay Zone - REPEALED
- 19.18 Adult Book Store, Adult Motion Picture Theater, or Nude Dancing
- 19.20 Bulkhead Lines
- 19.24 Districts—Generally
- 19.28 R-1 One-family Dwelling Districts
- 19.32 R-2 One-family and Two-family Dwelling Districts
- 19.36 R-3 Multiple Family Dwelling District
- 19.37 TH Twin Home District
- 19.38 Corner Lots, Side and Rear Yards and Setbacks - REPEALED
- 19.40 C Commercial District
- 19.41 C-1 Office Commercial District
- 19.42 BP Business Park District
- 19.44 Industrial District
- 19.45 Wellhead Protection Area Overlay District
- 19.46 River Prairie Mixed Use District
- 19.48 P Public and Conservancy District
- 19.50 LF Open Development-Former Landfill District
- 19.52 Parking and Loading Spaces
- 19.54 Site Plans
- 19.56 Yards, Lot Areas and Open Spaces
- 19.58 Signs
- 19.59 Conditional Uses
- 19.60 Nonconforming Uses
- 19.61 Accessory Buildings and Uses
- 19.64 PCD—Planned Community Developments
- 19.65 Apartment Ownership
- 19.68 Amendments

CHAPTER 19.45

WELLHEAD PROTECTION AREA OVERLAY DISTRICT

Sections:

19.45.010	Purpose
19.45.020	Authority.
19.45.030	Application.
19.45.040	Wellhead Protection Area Overlay District
19.45.050	Permitted Uses.
19.45.060	Conditional Uses.
19.45.070	Prohibited Uses.
19.45.080	Separation Districts.
19.45.090	Conditional Use Permits.
19.45.100	Existing Non-Conforming Uses.

19.45.010 Purpose.

The residents of the City of Altoona depend exclusively on groundwater for a safe drinking water supply. Certain land use practices and activities can seriously threaten or degrade groundwater quality. The purpose of this Ordinance is to establish a Wellhead Protection Area Overlay District to institute land use regulations and restrictions within a defined area which contributes water directly to the municipal water supply providing protection for the aquifer and municipal water supply of the City of Altoona and promoting the public health, safety and general welfare of City residents.

19.45.020 Authority.

Statutory authority of the City to enact these regulations was established by the Wisconsin Legislature in 1983, Wisconsin Act 410 (effective May 11, 1984), which specifically added groundwater protection, in §59.97(1) {which has since been renumbered as §59.69(1)} and §62.23(7)(c), Wis. Stats., to the statutory authorization for county and municipal planning and zoning to protect the public health, safety and welfare. In addition, under §61.35, Wis. Stats., the City has the authority to enact this ordinance, effective in the incorporated areas of the City, to encourage the protection of groundwater resources.

19.45.030 Application.

The regulations specified in this Wellhead Protection Ordinance shall apply within the area surrounding each municipal water supply well that has been designated as a "wellhead protection area" by the City in the most recent & up to date wellhead protection plan, and are in addition to the requirements in the underlying zoning district, if any. If there is a conflict between this chapter and the zoning ordinance, the more restrictive provision shall apply.

19.45.040 Wellhead Protection Area Overlay District.

The location and boundaries of the zoning districts established by this chapter are set forth in the City of Altoona's most recent and up to date wellhead protection plan on the map titled "Wellhead Protection Area" [on file in the City of Altoona office] incorporated herein and hereby made a part of this ordinance. Said figures, together with everything shown thereon and all amendments thereto, shall be as much a part of this chapter as though fully set forth and described herein. This ordinance and thus promotes public health, safety, and welfare. The Wellhead Protection Area Overlay District is intended to protect the groundwater recharge area for the water supply from contamination.

Note: Wellhead protection areas are derived from hydrologic studies and are based on the area surrounding a well where groundwater takes 5-years or less to travel from the land surface to the pumping well.

19.45.050 Permitted Uses

The following uses are permitted in the Wellhead Protection Overlay District, subject to the separation distances in Section 19.45.080 of this chapter:

1. Parks, provided there is no on-site waste disposal or fuel storage tank facilities associated with this use.
2. Playgrounds.
3. Wildlife areas.
4. Non-motorized trails, such as bike, skiing, nature and fitness trails.
5. Residential, commercial and industrial establishments that are municipally sewered and whose use, *Aggregate of Hazardous Chemicals* in use, storage, handling and/or production may not exceed 20 gallons or 160 pounds at any time.
6. Routine tillage, planting, and field management operations in support of agricultural crop production, where nutrients from legume, manure, and commercial sources are accounted for and credited toward crop nutrient need. The combination of all nutrient sources applied or available on individual fields may not exceed University of Wisconsin soil test recommendations for that field.

19.45.060 Conditional Uses.

The following uses may be conditionally permitted in the Wellhead Protection Overlay District in accordance with § 19.59 and subject to the separation distances in Section 19.45.080.

1. Petroleum, hydrocarbon or hazardous chemical storage tanks. (Hazardous chemicals are identified by OSHA under 29 CFR 1910.1200(c) and by OSHA under 40 CFR Part 370.)
2. Motor vehicle services, including filling and service stations, repair, renovation, and body work.
3. All mining operations including sand and gravel pits.
4. Residential, commercial and industrial establishments that are municipally sewered and whose use, *Aggregate of Hazardous Chemicals* in use, storage, handling and/or production exceeds 20 gallons or 160 pounds at any time.

19.45.070 Prohibited Uses.

The following uses are prohibited in the Wellhead Protection Overlay District.

1. Cemeteries.
2. Chemical manufacturers (Standard Industrial Classification Major Group 28).
3. Coal storage.
4. Dry cleaners.
5. Industrial lagoons and pits.
6. Landfills and any other solid waste facility, except post-consumer recycling.
7. Manure and animal waste storage except those facilities regulated by the County.
8. Pesticide and fertilizer dealer, transfer or storage facilities.
9. Railroad yards and maintenance stations.
10. Rendering plants and slaughterhouses.
11. Bulk storage of Salt or deicing material.
12. Salvage or junk yards.
13. Septage or sludge spreading, storage or treatment.
14. Septage, wastewater, or sewage lagoons.
15. Private on-site wastewater treatment systems or holding tanks receiving 12,000 gallons per day or more.
16. Stockyards and feedlots.
17. Stormwater infiltration basins without pre-treatment, including vegetative filtration and/or temporary detention.

18. Wood preserving operations.
19. Any other use determined by the city council to be similar in nature to the above-listed uses.

19.45.080 Separation Distances.

The following separation distances as specified in s. NR 811.12(5), Wis. Adm. Code, shall be maintained within the Wellhead Protection Area Overlay District.

1. Ten feet between a well and an emergency or standby power system that is operated by the same facility which operates the well and that has a double wall above ground storage tank with continuous electronic interstitial leakage monitoring. These facilities shall meet the installation requirements of s. [ATCP 93.260](#) and receive written approval from the department of safety and professional services or its designated Local Program Operator under s. [ATCP 93.110](#).
2. Fifty feet between a well and a storm sewer main or a sanitary sewer main where the sanitary sewer main is constructed of water main class materials and joints. Gravity sanitary sewers shall be successfully air pressure tested in place. The air pressure test shall meet or exceed the requirements of the 4 psi low pressure air test for plastic gravity sewer lines found in the latest edition of Standard Specifications for Sewer & Water Construction in Wisconsin. Force mains shall be successfully pressure tested with water to meet the AWWA C600 pressure and leakage testing requirements for one hour at 125% of the pump shut-off head.
3. Two hundred feet between a well field and any sanitary sewer main not constructed of water main class materials, sanitary sewer manhole, lift station, one or two family residential heating fuel oil underground storage tank or above ground storage tank or private onsite wastewater treatment system (POWTS) treatment tank or holding tank component and associated piping.
4. Three hundred feet between a well field and any farm underground storage tank system or other underground storage tank system with double wall and with electronic interstitial monitoring for the system, which means the tank and any piping connected to it. These installations shall meet the most restrictive installation requirements of s. [ATCP 93.260](#) and receive written approval from the department of safety and professional services or its designated Local Program Operator under s. [ATCP 93.110](#), Wis. Admin. Code. These requirements apply to tanks containing gasoline, diesel, bio-diesel, ethanol, other alternative fuel, fuel oil, petroleum product, motor fuel, burner fuel, lubricant, waste oil, or hazardous substances.
5. Three hundred feet between a well field and any farm above ground storage tank with double wall, or single wall tank with other secondary containment and under a canopy; other above ground storage tank system with double wall, or single wall tank with secondary containment and under a canopy and with electronic interstitial monitoring for a double wall tank or electronic leakage monitoring for a single wall tank secondary containment structure. These installations shall meet the most restrictive installation requirements of s. [ATCP 93.260](#), Wis. Admin. Code, and receive written approval from the department of commerce or its designated Local Program Operator under s. [ATCP 93.110](#), Wis. Admin. Code. These requirements apply to tanks containing gasoline, diesel, bio-diesel, ethanol, other alternative fuel, fuel oil, petroleum product, motor fuel, burner fuel, lubricant, waste oil, or hazardous substances.
6. Four hundred feet between a well field and a POWTS dispersal component with a design capacity of less than 12,000 gallons per day, a cemetery or a storm water retention or detention pond.
7. Six hundred feet between a well field and any farm underground storage tank system or other underground storage tank system with double wall and with electronic interstitial monitoring for the system, which means the tank and any piping connected to it; any farm above ground storage tank with double wall, or single wall tank with other secondary containment and

under a canopy or other above ground storage tank system with double wall, or single wall tank with secondary containment and under a canopy; and with electronic interstitial monitoring for a double wall tank or electronic leakage monitoring for a single wall tank secondary containment structure. These installations shall meet the standard double wall tank or single wall tank secondary containment installation requirements of s. ATCP 93.260 and receive written approval from the department of safety and professional services or its designated Local Program Operator under s. ATCP 93.110. These requirements apply to tanks containing gasoline, diesel, bio-diesel, ethanol, other alternative fuel, fuel oil, petroleum product, motor fuel, burner fuel, lubricant, waste oil, or hazardous substances.

8. One thousand feet between a well field and land application of municipal, commercial, or industrial waste; the boundaries of a land spreading facility for spreading of petroleum-contaminated soil regulated under state administrative regulations while that facility is in operation; agricultural, industrial, commercial or municipal waste water treatment plant treatment units, lagoons, or storage structures; manure stacks or storage structures; or POWTS dispersal component with a design capacity of 12,000 gallons per day or more.
9. Twelve hundred feet between a well field and any solid waste storage, transportation, transfer, incineration, air curtain destructor, processing, wood burning, one time disposal or small demolition facility; sanitary landfill; any property with residual groundwater contamination that exceeds ch. [NR 140](#) enforcement standards; coal storage area; salt or deicing material storage area; any single wall farm underground storage tank or single wall farm above ground storage tank or other single wall underground storage tank or above ground storage tank that has or has not received written approval from the department of safety and professional services or its designated Local Program Operator under s. ATCP 93.110, Wis. Admin. Code, for a single wall tank installation. These requirements apply to tanks containing gasoline, diesel, bio-diesel, ethanol, other alternative fuel, fuel oil, petroleum product, motor fuel, burner fuel, lubricant, waste oil, or hazardous substances; and bulk pesticide or fertilizer handling or storage facilities.

19.45.090 Conditional Use Permits.

Individuals and/or facilities may request the City in writing, to permit additional land uses in the Groundwater Protection Overlay District under § 19.59 of this chapter.

A. STANDARDS FOR CONDITIONAL USE. The City Council shall apply the following factors:

1. The City's responsibility, as a public water supplier, to protect and preserve the health, safety and welfare of its citizens.
2. The degree to which the proposed land use practice, activity or facility may threaten or degrade groundwater quality in the City or the recharge area for the City municipal wells.
3. The economic hardship which may be faced by the landowner if the application is denied.
4. The availability of alternative options to the applicant, and the cost, effect and extent of availability of such alternative options.
5. The proximity of the applicant's property to other potential sources of contamination.
6. The then existing condition of the City's groundwater public water well(s) and well fields, and the vulnerability to further contamination.
7. The direction of flow of groundwater and other factors in the area of the applicant's property which may affect the speed of the groundwater flow, including topography, depth of soil, extent of aquifer, depth to water table and location of private wells.
8. Any other hydrogeological data or information which is available from any public or private agency or organization.
9. The potential benefit, both economic and social, from the approval of the applicant's request for a permit.

B. TYPES OF CONDITIONS WHICH THE CITY COUNCIL MAY REQUIRE. The City Council may stipulate conditions and restrictions including but not limited to the following:

1. A requirement for periodic environmental and safety sampling, testing, and reporting to establish the continued protection of the public water supply. The City may require an application to install one or more groundwater monitoring well(s), at the expense of the applicant.
2. The establishment of safety structures to prevent groundwater contamination.
3. The establishment of an operational safety plan to define processes and procedures for material containment, operations monitoring, best management practices, and stormwater runoff management to prevent groundwater contamination.
4. Written policies and procedures for reporting and cleaning up any spill of a hazardous material.
5. The provision of copies of all federal, state and local facility operation approval or certificates, and on-going environmental monitoring results to the City.
6. A written agreement pursuant to which the applicant agrees to be held financially responsible for all environmental cleanup costs in the event of groundwater contamination.
7. Bonds and/or securities satisfactory to the City for future monitoring and cleanup costs if groundwater contamination occurs in the future.
8. The foregoing conditions are listed for illustration purposes and are not exclusive.

19.45.100 Existing Non-Conforming Uses.

Non-Conforming Uses, the lawful nonconforming use of a structure or land existing at the time of the adoption or amendment of this Chapter may be continued although the use does not conform with the provisions of this Chapter. However, only that portion of the land in actual use may be so continued and the structure may not be extended, enlarged, reconstructed, substituted, moved, or structurally altered except when required to do so by law or order so as to comply with the provisions of this chapter.

Ord 4A-24, 2024.

Figure 1 – Altoona Municipal Well Locations

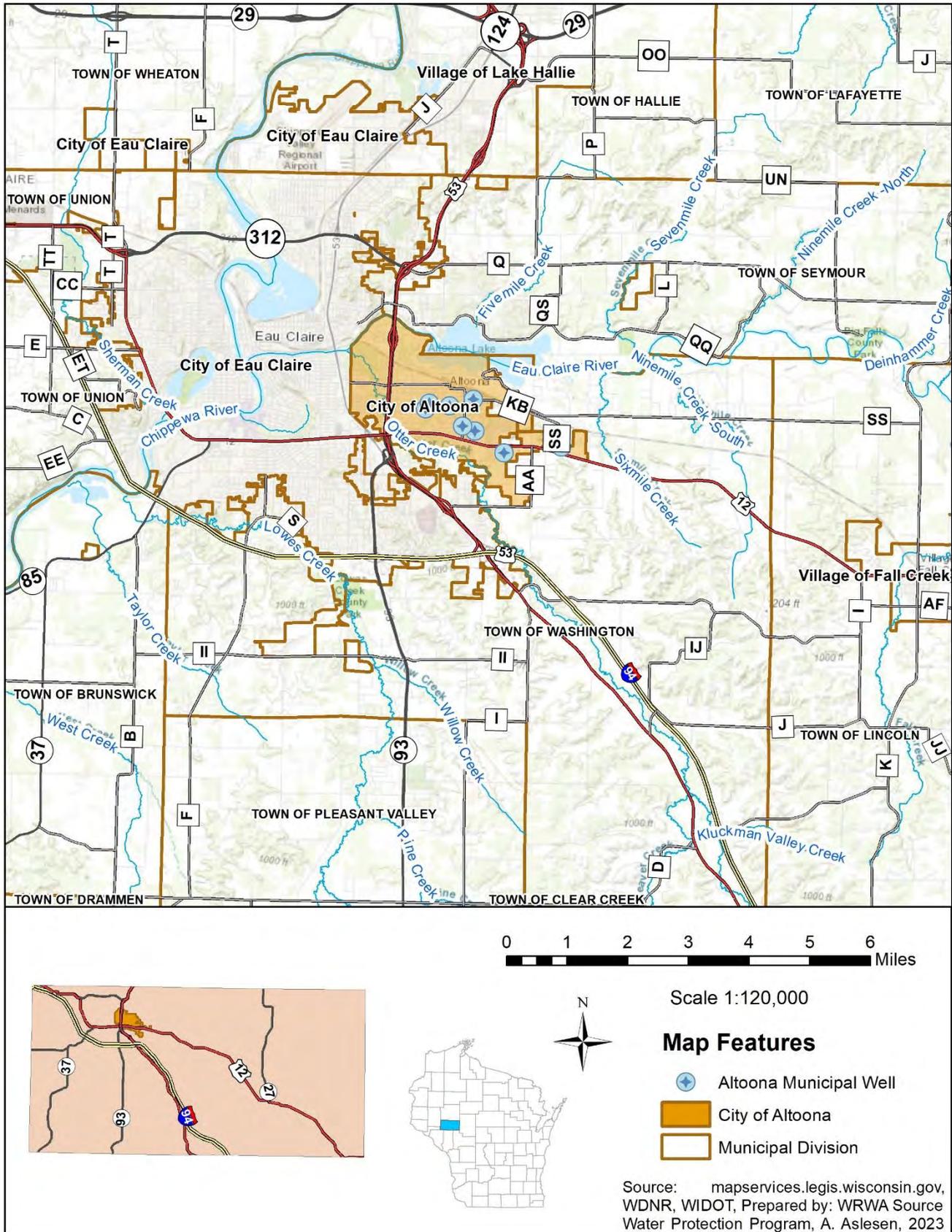


Figure 2 – Groundwater Flow

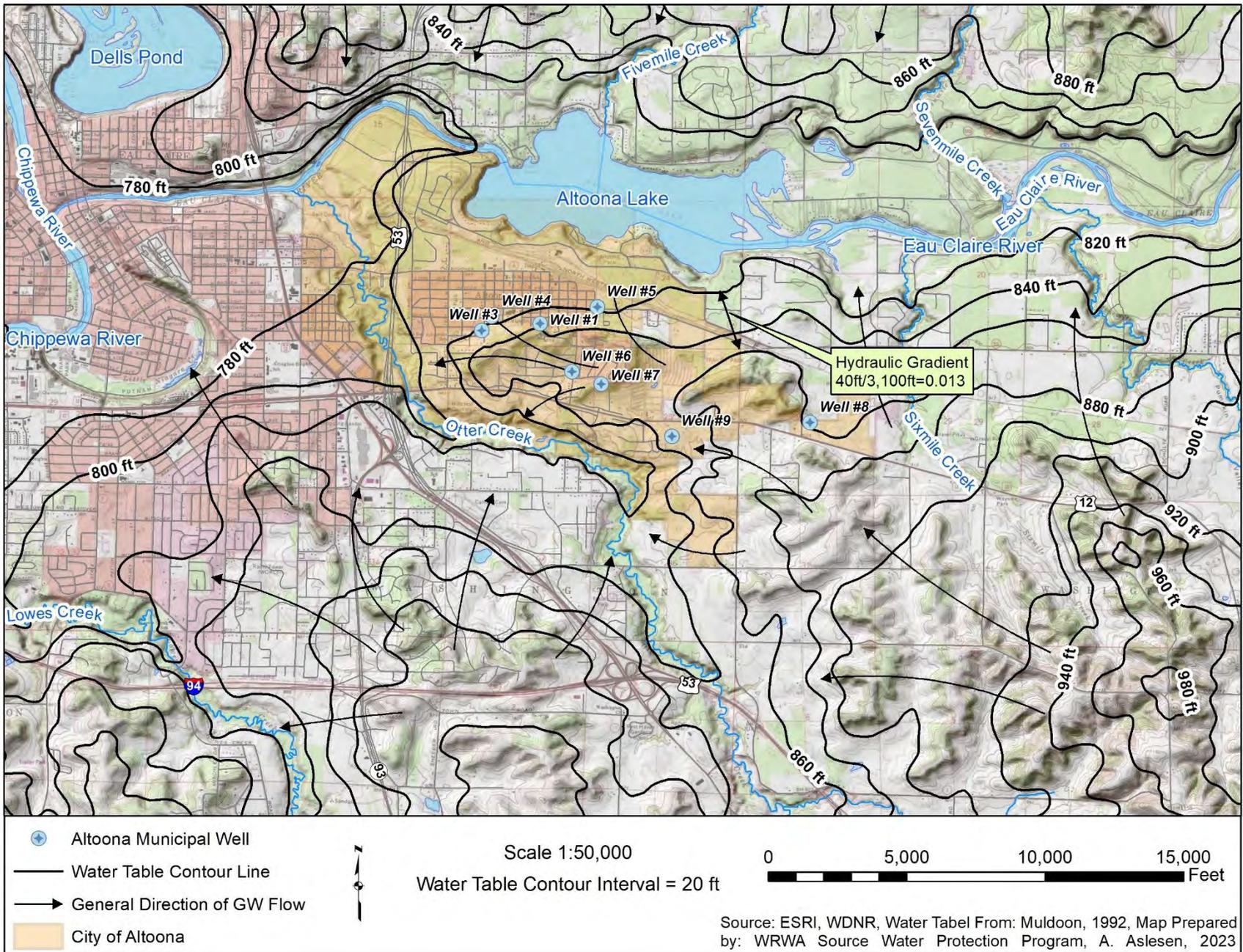


Figure 3 – Zones of Contribution (ZOCs)

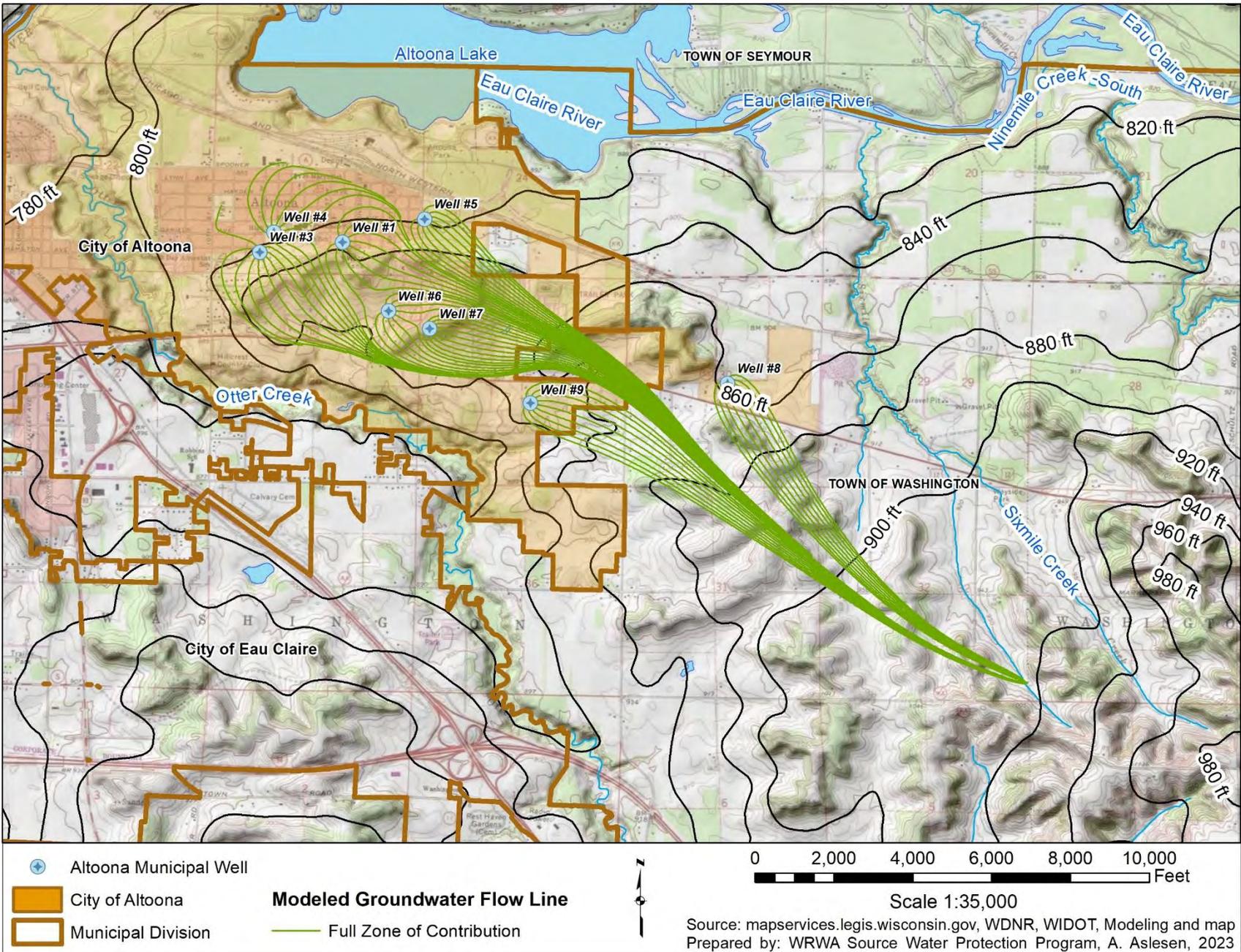


Figure 4 – 5-Year Time of Travel Capture Zones

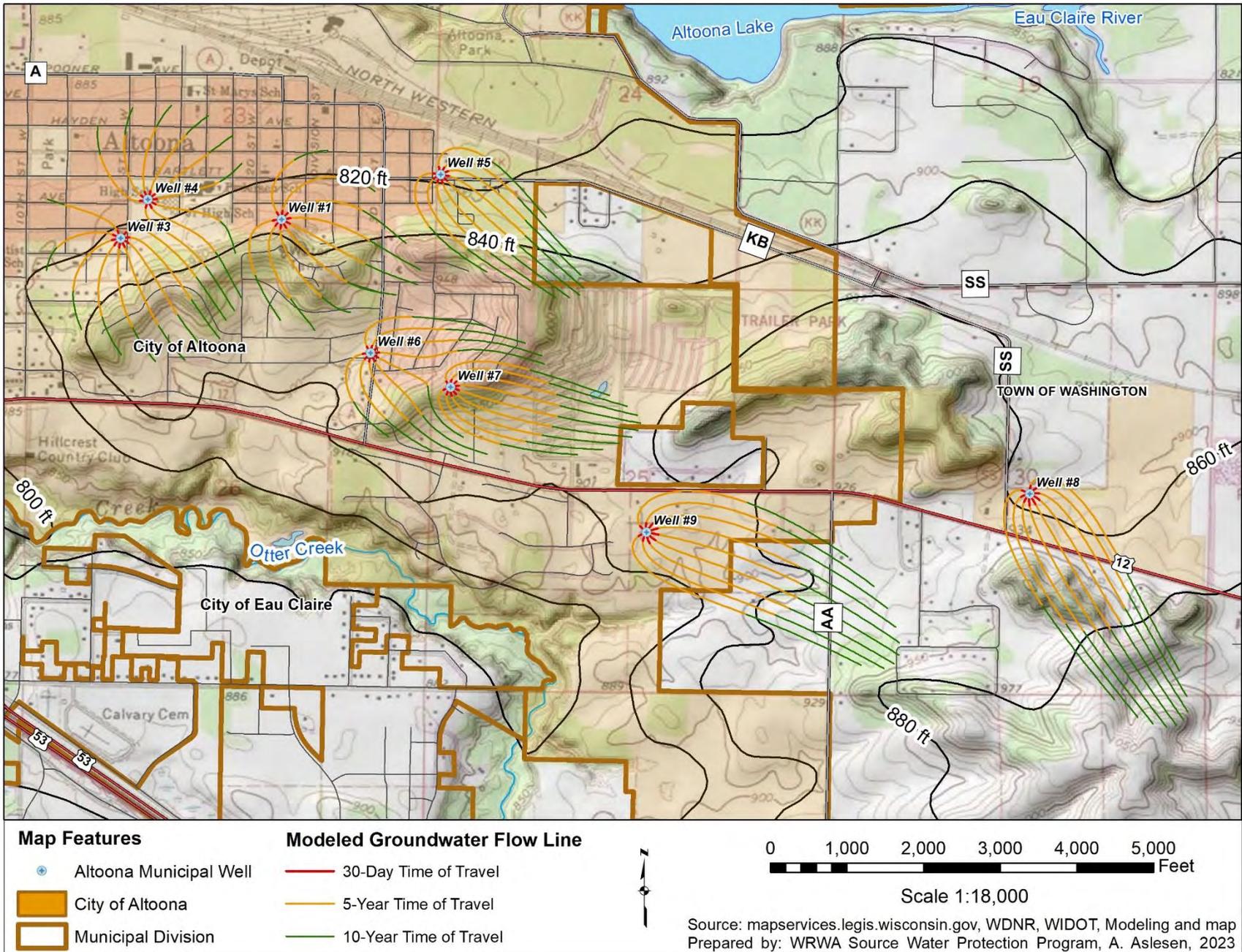


Figure 6 – Potential Contaminant Sources; Wells #3 & #4



Figure 7 – Potential Contaminant Sources; Well #5



Figure 8 – Potential Contaminant Sources: Well #6 & #7

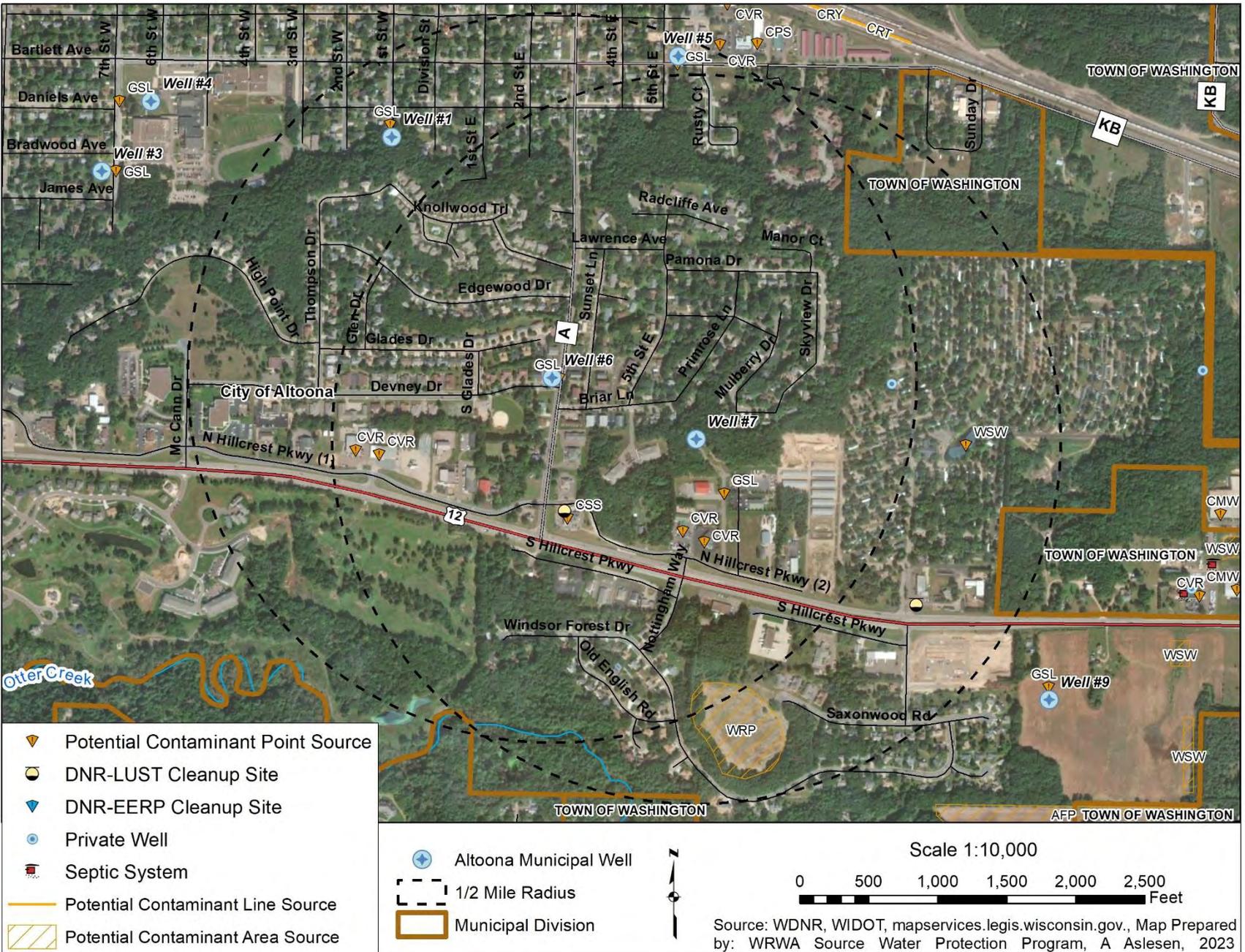


Figure 9 – Potential Contaminant Sources: Well #8



Figure 10 – Potential Contaminant Sources: Well #9

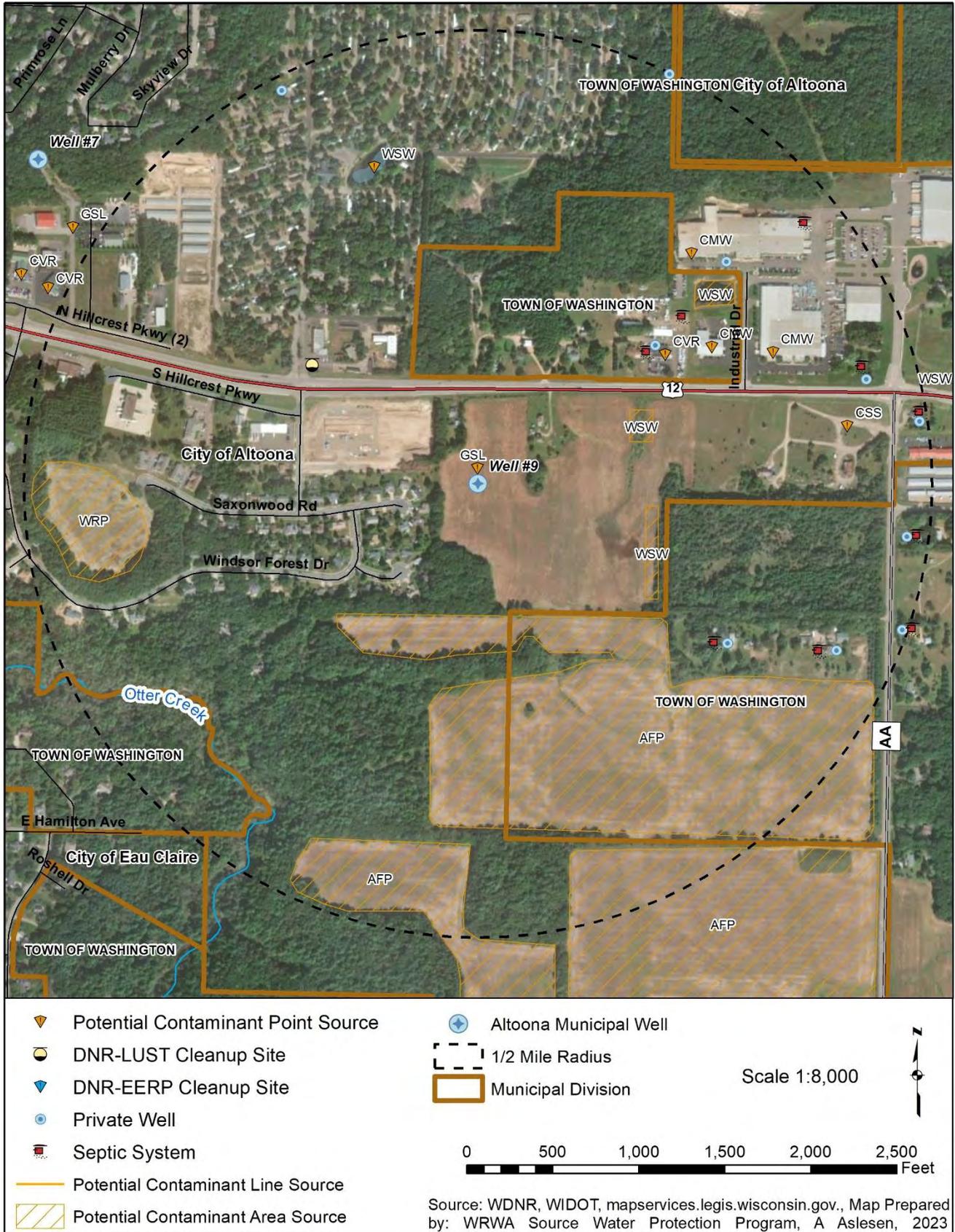


Figure 11 – Wellhead Protection Area: Wells #1, #3, #4, #5, #6 & #7

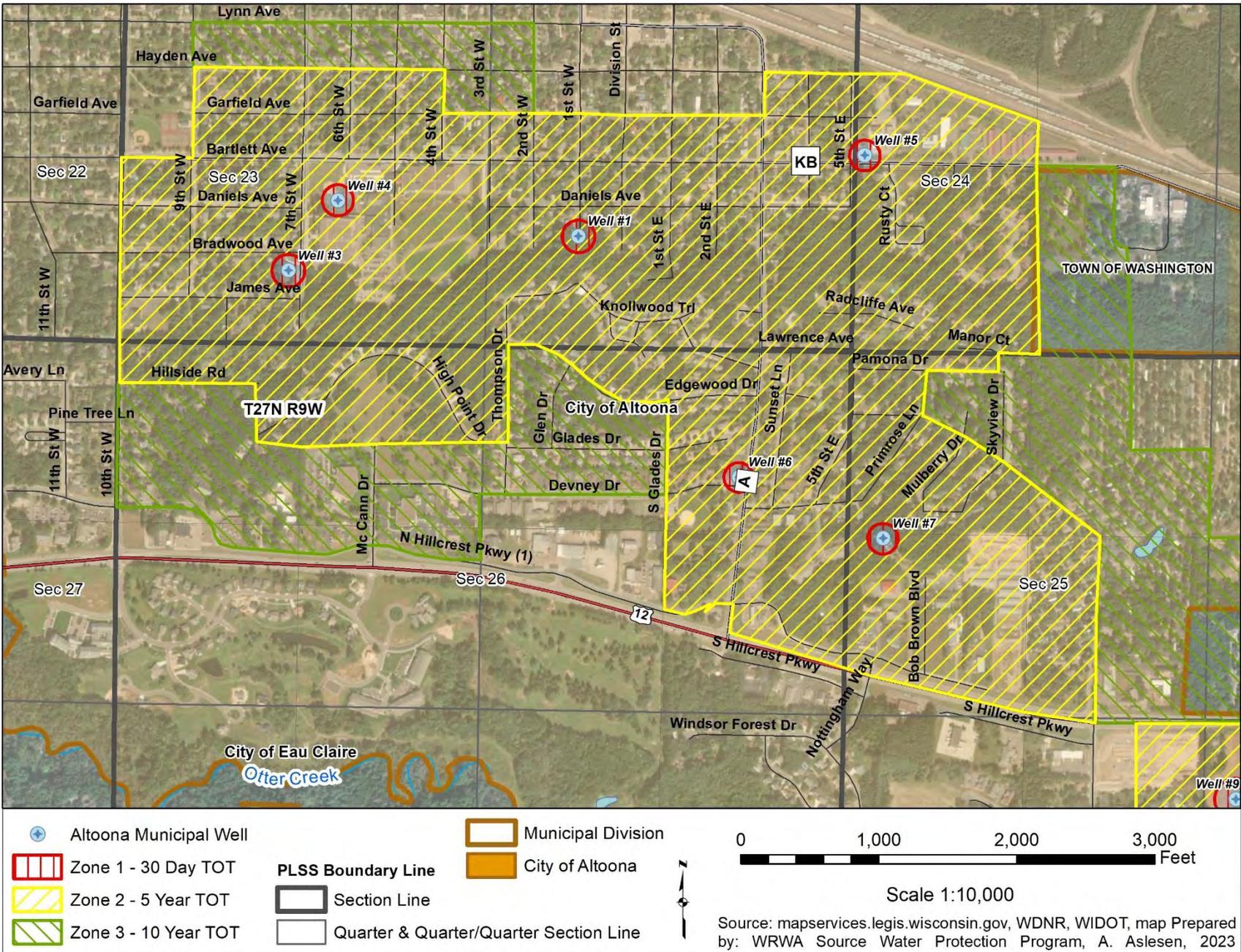


Figure 12 – Wellhead Protection Area: Wells #8 & #9

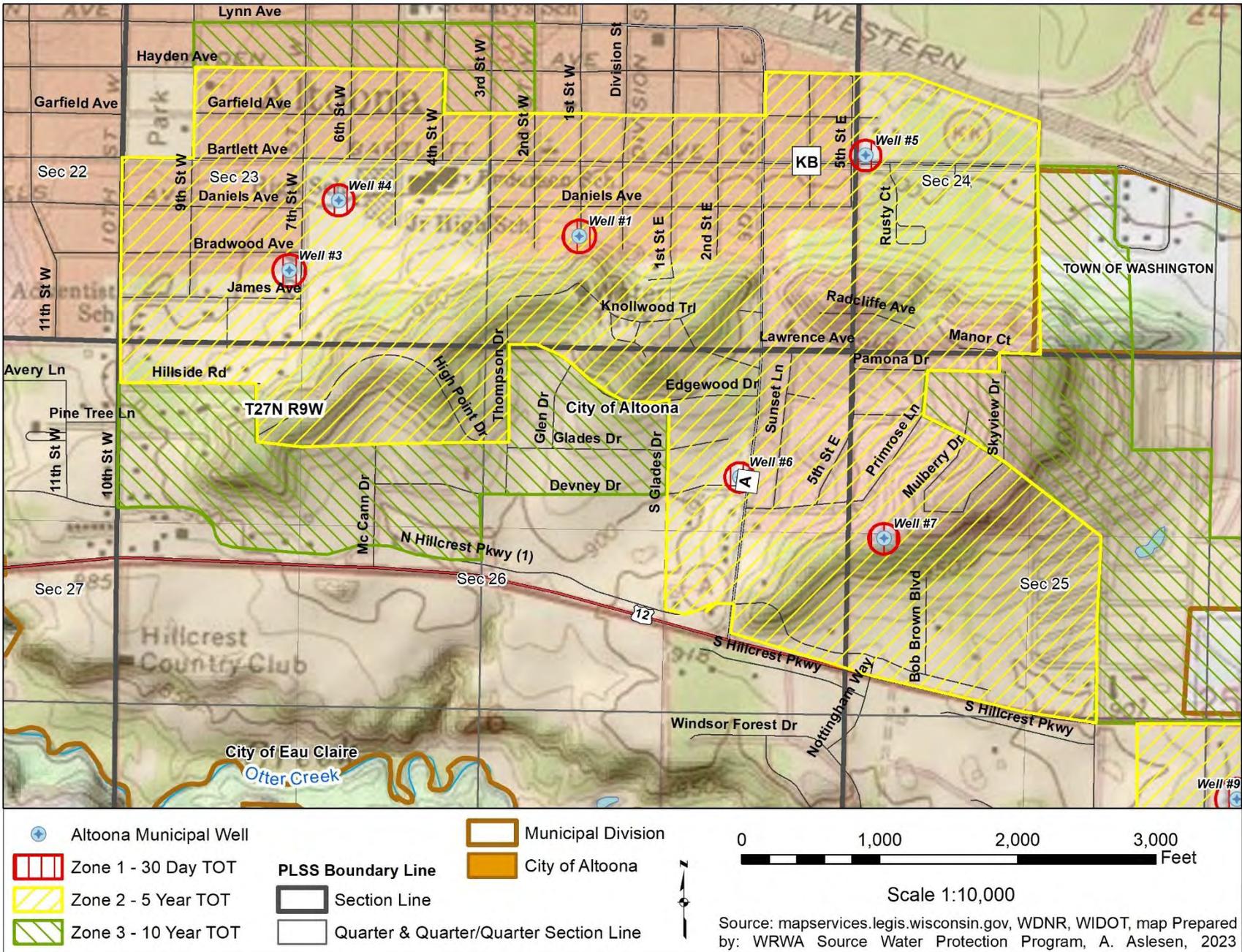


Figure 13 – Wellhead Protection Area: Wells #8 & #9

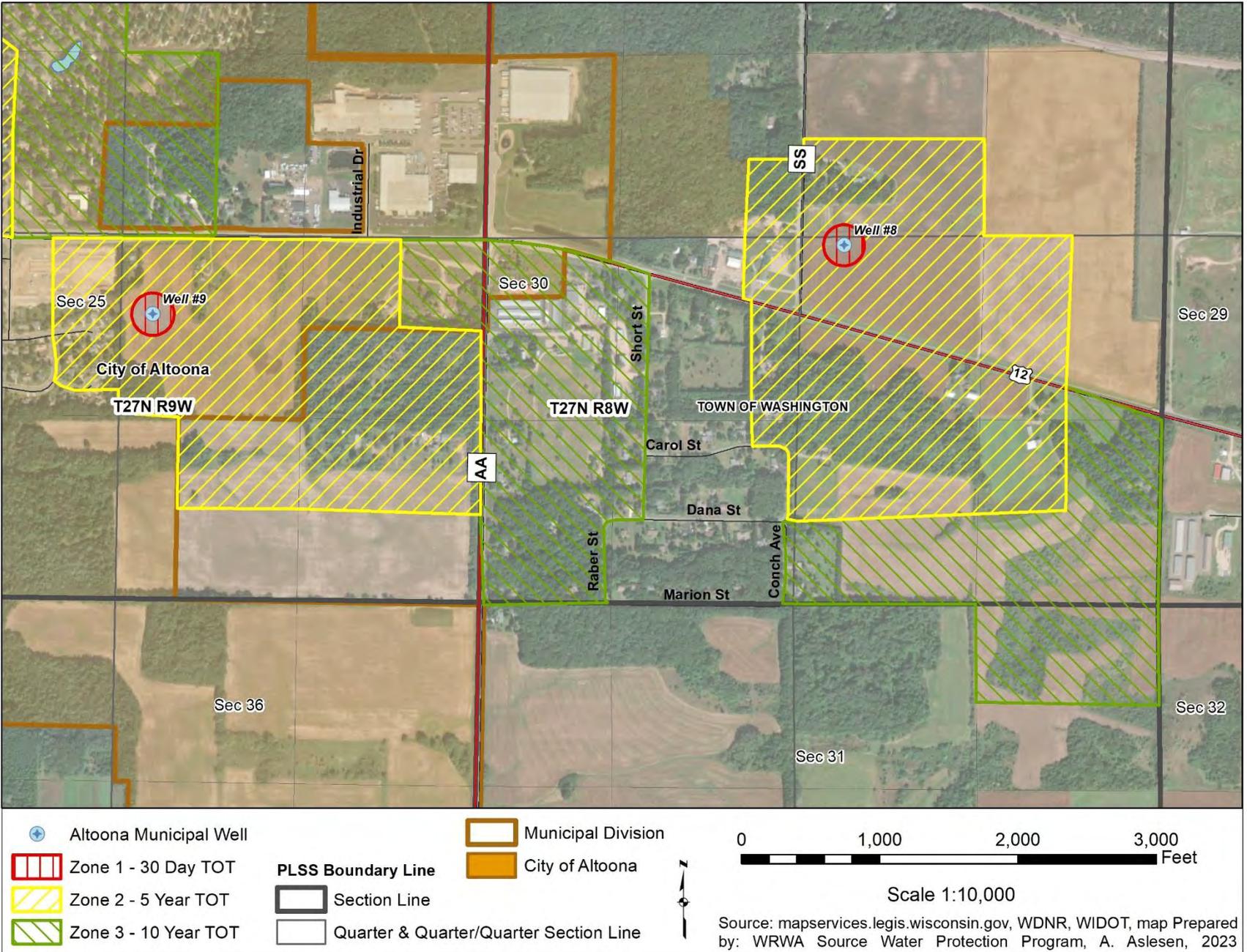
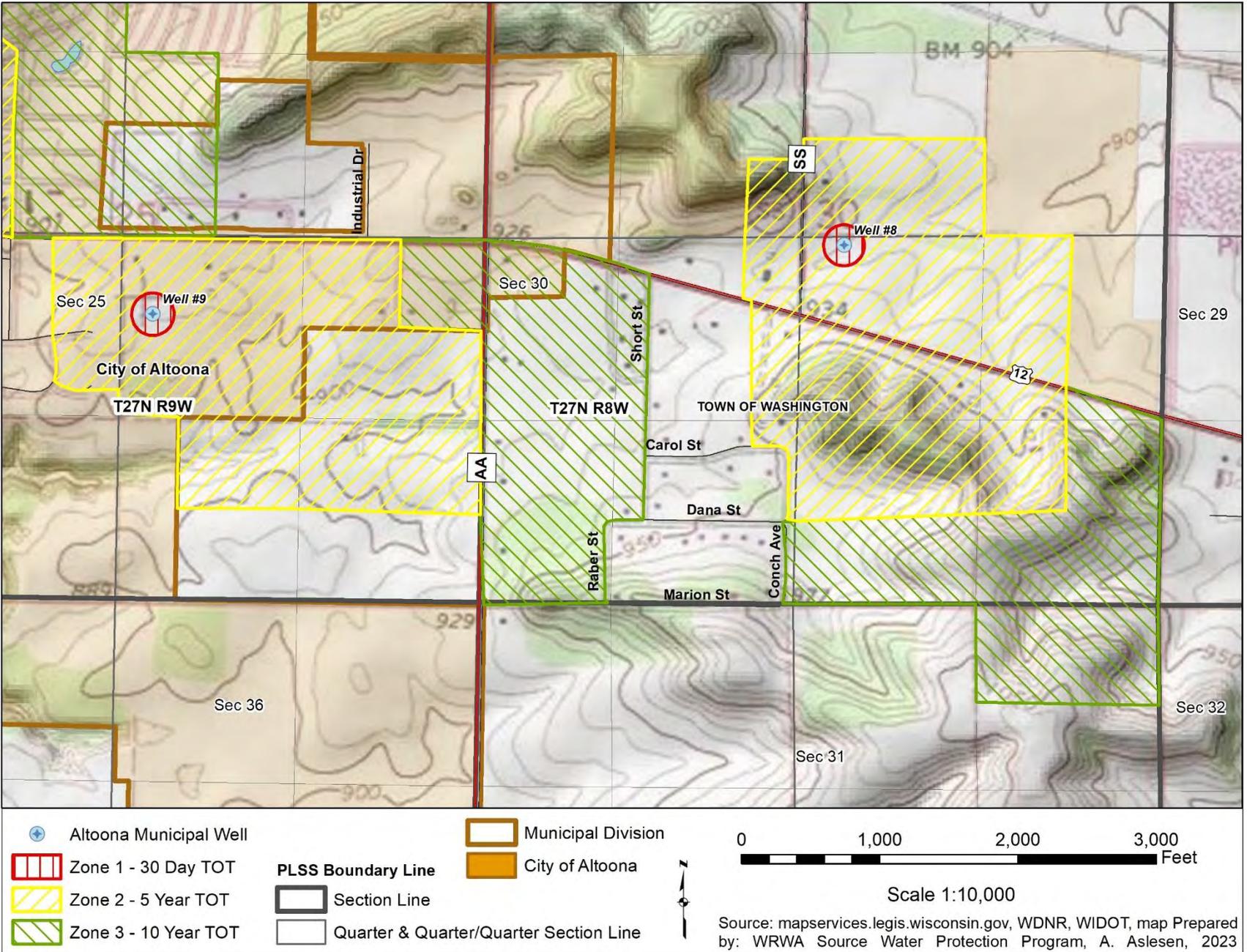


Figure 14 – Wellhead Protection Area: Wells #8 & #9



Final Plat Report



To: Committee on Planning and Development
Regarding: Final Plat of “Heritage Estates”
Surveyor: Peter Gartmann; Real Land Surveying
Owner/Agent: JTH Enterprises LLC
Date: August 7, 2024
Cc: Peter Gartmann; Real Land Surveying
Jessica Janssen, Chair; Town of Seymour

Committee Members:

The statutory time limit for the County to take action on this matter expires 60 days after the last submittal. The County must “Approve, Conditionally Approve or Deny” this submitted Final Plat by this time or it automatically is deemed approved by statute. Committee may also, by majority vote, require the subdivider to submit other reasonable and pertinent information necessary to review the plat, as per 18.79.020 B.

Staff has reviewed and recommends conditional approval of the **7/02/2024** “Final Plat of **“Heritage Estates”**. (Most recent submittal of 07/02/2024.)

Recommended conditions for approval are as follows:

- 1) That the Town of Seymour conditionally approves this final plat. -Town approved the final plat on July 8th.
- 2) That the City of Eau Claire conditionally approves this final plat. -Plan Commission for the City of Eau Claire approved the preliminary plat at their April 1, 2024 with the conditions that the plat meets all the County and Town requirements and a final plat is approved at a later date.
- 3) That the Eau Claire County Highway Department approve access for the new road to connect with County Road “Q”. -A land access permit was approved 7/11/2024 for a 22’ wide rural road.
- 4) That the final plat be revised and/or updated to include:
 - Correct ¼- ¼ Section, Section, Town and Range in the opening paragraph of the Certificate.
 - ‘Also known as County Road “Q” ‘to the road name label.
 - Correct label for the monument at the Northeast of the perimeter. (This should be the Northeast corner of the Southwest ¼ of the Northeast ¼).
 - Stormwater easement added along Lots 3, 4, 5, and 6 where the proposed 18” berm is located.
 - Verify the shown owner’s address. -Address shown on map for JTH Enterprises is 5606 Olson Dr., which is the parcel address, but the mailing address for JTH Enterprises is 5972 Heathermoor Lane Eau Claire 54703.
- 5) That the soils conditions meet the approval of the City/County Health Department for installation of on-site sanitary systems. (Approved 6/10/2024, See attached report from the City-County Health Department)
- 6) The groundwater map shall be submitted for review and approval by the City/County Health Dept. (included in attached report from City/County Health Department.

- 7) That the storm water plans meet the approval of the Eau Claire County Land Conservation Department. These were submitted to Land Conservation on August 2nd and are under review.
- 8) That the Final Plat conforms to 18.78.060 Final Plat Submittal, 18.78.070 Final Plat Review and Approval, 18.78.080 Recording of the Final Plat, 18.80 Final Plat, 18.82 Design Standards, 18.83 Required Improvements, 18.84 Subdivision Improvement Guarantees and 18.85.030 Legal, Engineering and Inspection Fees which are requirements and procedures outlined within the Subdivision Control of the County Code that may not have specifically identified previously in detail. (i.e., vision corner easements at all road intersections and noted with restrictions in 18.22.025; etc.)
- 9) That the Final Plat complies with all applicable portions of s. 236 of the Wisconsin Statutes and that the Department of Administration has no objection to the final plat and certifies to this.
- 10) That in submitting for final plat approval, the owner will also furnish to the county an abstract of title or a policy of title insurance certified to date for examination as allowed in s. 236.21 (2) (b).

Notes:

- 1) The following language needs to be added to the plat:
“Stormwater easements are for the benefit of all lots in this plat. After installation of stormwater facilities within this plat (as per plan filed with Eau Claire County), the elevations of the ground within these easements cannot be altered without prior approval from Eau Claire County and the Town of Seymour. No improvement or object may be placed within these easements that would impede the flow of water.”
- 2) Per (18.87.030 B (3)) regarding future re-subdivision. Whenever a tract is divided into lots of 5 acres or less in area and more than twice the minimum required for the zoning district in which the lots are located, the committee may require such lots to be arranged and dimensioned in a manner that will allow re-subdivision. (Pertains to Lot 4).
- 3) Each lot requires at least 100-feet of road frontage with access.
- 4) Minimum road radius shall have a radius of at least 60-feet.
- 5) The developer will need to meet with the USPS Postmaster to determine type and location of mailbox installation for this development.

Respectfully submitted:

Dean J. Roth, PLS
Eau Claire County Surveyor
Land Records Division Supervisor
Department of Planning and Development
Room 3344 - 721 Oxford Avenue
Eau Claire, WI 54703-5481
Voice: 715-839-4742
FAX 715-831-5802
E-mail: dean.roth@co.eau-claire.wi.us

Date: 6/10/2024

To: Dean Roth, Eau Claire County Planning and Development

From: Elizabeth Paulson, REHS. Environmental Health Specialist

Re: Proposed plat for Heritage Estates

I have reviewed the Proposed Plat of "Heritage Estates" for compliance with sections 18.77.080 C. and 18.77.090 of Title 18, Eau Claire County Code.

1. The proposed site is entirely wooded. The prior land use and management activities within the subdivision are described as very limited activity in wooded area. The Eau Claire County contour and generalized water-table elevation maps indicate that groundwater in the proposed plat likely flows to the southwest. The submitted materials indicated land areas activity within the 1,200 radius of the proposed subdivision comprise of open and semi wooded areas, scattered residential and Fivemile Creek is located over 2,000 feet to the east of the proposed subdivision.

The Health Department has reviewed available groundwater data in the area. Nitrate concentrations from available nearby wells suggest relatively low nitrate levels in the area. Therefore, nitrate contamination does not appear to be a widespread issue in the area, but higher levels are possible as nitrate levels can be variable.

The proposed development has the potential to contribute nitrate and other contaminants to local groundwater by onsite wastewater treatment leaching. The proposed lot density is consistent with nearby developments as well as the minimum standards to reduce risk for widespread nitrate increases (generally at least 1 lot per acre). **However, there are some lots in the proposed plat where the soils indicated that there is limited suitable area on several lots for a POWTS to be installed which could limit the actual buildable area.** It will be important to assure proper siting, construction, and maintenance of individual POWTS and wells within the proposed development and the Health Department would support increasing lot sizes where buildable area appears restricted to increase the distances between septic drain fields and potable wells. Individual homeowners in this development may also want to consider optional practices to prevent or mitigate potential nitrate or other groundwater contaminants, including but not limited to: installing a POWTS pre-treatment device, drilling a deeper well, water treatment system, etc. The Health Department would also support consideration of alternative wastewater treatment and drinking water distribution strategies that may be feasible in the area to further reduce risk of drinking water contamination, including but not limited to: clustered POWTS, connection to municipal water and sewer, etc.

2. The soil borings performed for lots 1-9,11-15 were done on May 20, 2024 by William Heidt CST #227872 are approved. Lot 10 has an existing structure and therefore a boring was not required. Lots 1-9 and 11-15 have approved soil borings but there are sites with limited suitable areas noted, these lots include 1, 6, 7, 9, and 11. The lower portions of lots 6 and 7 are not suitable for a septic system. It is recommended that full soil tests are performed to determine a suitable



area. The soil borings indicate that all the lots would be mound systems which would require larger site areas.

Please contact with have any questions,

Elizabeth Paulson, REHS | *Environmental Health Specialist*

Elizabeth.Paulson@eauclairecounty.gov

(P) 715-839-4723 (F) 715-839-1674

720 Second Avenue, Eau Claire, WI 54703

www.ehealthdepartment.org



Fee Schedule

Guide to Calculate Fees Required by 4.35.110 of the Eau Claire County Code.

Submittal Fee of \$480.00 per plat	fill in or strike out any N/A
Payable with the submission of all preliminary plats	<u>480.00</u>
Parcel Review Fee: \$95.00 per parcel x _____ parcels =	<u>N/A</u>
Final Plat Review Fee of \$270.00 per final plat	
Payable with the submission of all final	<u>270.00</u>
plats Mapping Review Fee: \$120.00 per <u>17</u> parcels =	<u>2040.00</u>
parcel x	
Storm Water Management Permit Fees \$500+ \$50/4,000 Sq. Ft. of Impervious Area payable directly to the Land Conservation Division.	
Total Review Fees Due - Payable to Eau Claire County Treasurer	<u>2790.00</u>

Soil Analysis Fees - Payable to City/County Health Department
[Health Department Soil Boring Fee Chart](#) (Please include with Health Department Submission)

Attach payments here:

1st Check Payable to Eau Claire County Treasurer for review fees.

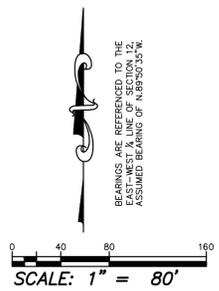
2nd Check Payable to Eau Claire County Health Department for soil analysis fees.

Office Use Only			
Logged in by:	P&D Staff	Date Logged in:	
Received from:	(Circle)	(Circle)	(Circle)
	Owner/Agent	By Mail or in Person	Preliminary or Final
Approximately 60 day county review time limit expires on: (time limit starts from when all required data is submitted to the county)			

Note: Shaded areas are for County Use Only.

100' ELECTRIC TRANSMISSION LINE EASEMENT DOC #272931

SURVEYOR'S NOTE:
THE BOUNDARY OF THIS SUBDIVISION PLAT IS A RETRACEMENT OF A MAP OF SURVEY, PERFORMED BY M.R. ROOD, DATED AUGUST 30, 2005. EAU CLAIRE COUNTY MAP INDEX #1-1087



TEMPORARY ROADWAY EASEMENT NOTE:
TEMPORARY ROADWAY EASEMENT SHALL TERMINATE AND BE DISCONTINUED UPON THE EXTENSION OF THE PUBLIC STREET.

OUTLOT NOTE:
OUTLOTS 1 AND 2 WILL BE JOINTLY OWNED BY ALL LOTS, GIVING 1/15TH OWNERSHIP. OUTLOTS 1 AND 2 ARE NOT APPROVED FOR BUILDING PURPOSES. NO LAND USE OR SANITARY PERMITS FOR STRUCTURES WILL BE ISSUED UNTIL THESE LOTS MEET ALL OF THE CRITERIA FOR A BUILDABLE LOT, AS DEFINED BY TITLES, 8, 17 AND 18 OF THE EAU CLAIRE COUNTY CODE.

PRIVATE STORMWATER EASEMENTS:
PRIVATE STORMWATER EASEMENTS ARE FOR THE BENEFIT OF LOTS 1-15 AND ARE MAINTAINED BY THE HOMEOWNERS ASSOCIATION FOR THIS SUBDIVISION. SAID EASEMENT IS FOR THE CONVEYANCE OF STORMWATER AND THE MAINTENANCE, ACCESS, AND STORAGE OF STORMWATER FACILITIES.

UTILITY EASEMENTS:
UTILITY EASEMENTS ARE FOR THE USE OF THOSE GRANTED PERMISSION IN THE UTILITY EASEMENT PROVISIONS ON SHEET 2. NO UTILITY LINES OR FACILITIES SHALL BE PLACED WITHIN 3 FEET OF ANY LOT CORNER.

CURVE TABLE									
CURVE	LOT NO	LENGTH	RADIUS	DELTA	CHD	CHD BR	1ST TAN	2ND TAN	
A-B		128.57'	223.98'	032°53'19"	126.81'	S16°22'07"W	S32°48'47"W	S00°04'33"E	
	LOT 1	35.66'	223.98'	009°07'23"	35.63'	S04°29'09"W			
	LOT 2	92.91'	223.98'	023°45'56"	92.24'	S20°55'49"W			
B-C		418.30'	343.24'	069°49'26"	392.89'	S02°05'56"E	S37°00'40"E	S32°48'47"W	
	LOT 2	119.59'	343.24'	019°57'43"	118.98'	S22°49'55"W			
	LOT 3	194.20'	343.24'	032°25'02"	191.62'	S03°21'28"E			
	LOT 4	104.51'	343.24'	017°26'41"	104.10'	S28°17'19"E			
D-E		388.19'	183.00'	121°32'16"	319.39'	N62°13'12"E	N21°27'04"E	S37°00'40"E	
	LOT 4	64.06'	183.00'	020°03'22"	63.73'	S47°02'20"E			
	LOT 5	100.22'	183.00'	031°22'45"	98.98'	S72°45'24"E			
	LOT 6	100.44'	183.00'	031°26'54"	99.19'	N75°49'47"E			
	LOT 7	104.35'	183.00'	032°40'19"	102.94'	N43°46'11"E			
	LOT 8	19.11'	183.00'	005°58'57"	19.10'	N24°26'33"E			
F-G		176.73'	147.00'	068°53'06"	166.28'	N55°53'37"E	S89°39'49"E	N21°27'04"E	
H-I		256.08'	213.00'	068°53'06"	240.94'	N55°53'37"E	S89°39'49"E	N21°27'04"E	
	LOT 9	139.75'	213.00'	037°35'30"	137.26'	N71°32'26"E			
	LOT 13	116.34'	213.00'	031°17'37"	114.89'	N37°05'52"E			
J-K		248.18'	117.00'	121°32'16"	204.20'	N82°13'12"E	N21°27'04"E	S37°00'40"E	
L-M		337.87'	277.24'	069°49'26"	317.34'	S02°05'56"E	S37°00'40"E	S32°48'47"W	
	LOT 15	200.36'	277.24'	041°24'24"	196.03'	S16°18'27"E			
	LOT 12	137.51'	277.24'	028°25'02"	136.10'	S18°36'16"W			
M-N		166.46'	289.98'	032°53'19"	164.18'	S16°22'07"W	S32°48'47"W	S00°04'33"E	
	LOT 12	120.70'	289.98'	023°50'53"	119.83'	S20°53'20"W			
	LOT 11	45.76'	289.98'	009°02'26"	45.71'	S04°26'40"W			

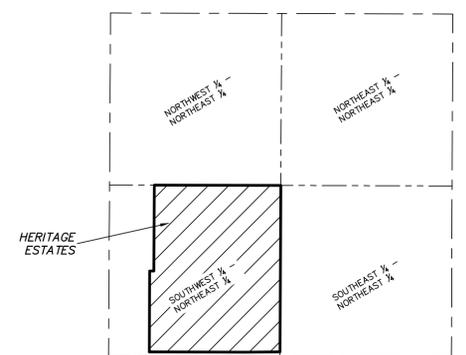
There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____
20____

Department of Administration



LOCATION SKETCH OF THE NORTHEAST 1/4 OF SECTION 12 (NOT TO SCALE)



LEGEND

- --- FOUND 1" OUTSIDE DIAMETER IRON PIPE
- --- SET 1" O.D. x 18" IRON PIPE WEIGHING 1.13 POUNDS/LINEAR FOOT
- --- SET 1-1/4" x 18" REBAR WEIGHING 4.30 POUNDS/LINEAR FOOT
- SET 1" O.D. x 18" IRON PIPE WEIGHING 1.13 POUNDS/LINEAR FOOT AT ALL OTHER LOT CORNERS.
- ⊙ --- ENVIRONMENTALLY SENSITIVE AREAS (SEE NOTE)

ENVIRONMENTALLY SENSITIVE AREAS NOTE:
NO DEVELOPMENT OR LAND DISTURBANCE ACTIVITY SHALL BE ALLOWED WITHIN ANY ENVIRONMENTALLY SENSITIVE AREAS EXCEPT AFTER ISSUANCE OF A PERMIT FROM THE COUNTY. SUCH PERMIT ONLY TO BE ISSUED IF THE OWNER DEMONSTRATES THE PROPOSED DEVELOPMENT OR LAND DISTURBANCE ACTIVITY IS EXPRESSLY ALLOWED UNDER ANY OF THE FOLLOWING:
- TITLE 17
- TITLE 18

LANDOWNER/SUBDIVIDER:

- JTH ENTERPRISES
5606 OLSON DRIVE
EAU CLAIRE, WI 54701

APPROVING AUTHORITIES:

- CITY OF EAU CLAIRE
- TOWN OF SEYMOUR
- EAU CLAIRE COUNTY

OBJECTING AUTHORITIES:

- DEPARTMENT OF ADMINISTRATION

SURVEYOR

- PETER J. GARTMANN R.L.S. No. 2279
REAL LAND SURVEYING
1356 INTERNATIONAL DRIVE
EAU CLAIRE, WI 54701

HERITAGE ESTATES
LOCATED IN THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4,
SECTION 12, TOWNSHIP 27 NORTH, RANGE 9 WEST,
TOWN OF SEYMOUR, EAU CLAIRE COUNTY, WISCONSIN

TOWN BOARD RESOLUTION:

RESOLVED THAT THIS THE PLAT OF HERITAGE ESTATES, IN THE TOWN OF SEYMOUR, IS HEREBY, APPROVED BY THE TOWN BOARD OF THE TOWN OF SEYMOUR, EAU CLAIRE COUNTY, WISCONSIN.

DATE APPROVED: _____ (PRINT NAME): _____
TOWN CHAIRMAN

(SIGNATURE) _____ DATE: _____
TOWN CHAIRMAN

I HEREBY CERTIFY THAT THE FOREGOING IS A COPY OF A RESOLUTION ADOPTED BY THE TOWN BOARD OF THE TOWN OF SEYMOUR, EAU CLAIRE COUNTY, WISCONSIN.

(SIGNATURE) _____
TOWN CLERK

EAU CLAIRE COUNTY PLANNING AGENCY:

THIS PLAT KNOWN AS HERITAGE ESTATES IS APPROVED BY THE EAU CLAIRE COUNTY PLANNING AGENCY ON THIS _____ DAY OF _____, 2024. THERE ARE NO OBJECTIONS TO THIS PLAT WITH RESPECT TO SUBTITLE III, THE SUBDIVISION CONTROL, OF TITLE 18 OF THE COUNTY CODE OF GENERAL ORDINANCES.

CERTIFIED TO THIS ____ DAY OF _____, 2024

APPROVED: _____
RODNEY J. ESLINGER, DEPARTMENT DIRECTOR

CERTIFICATE OF TOWN TREASURER:

STATE OF WISCONSIN
COUNTY OF EAU CLAIRE §

I, JEAN EISOLD, BEING THE DULY APPOINTED, ACTING AND QUALIFIED TREASURER OF THE TOWN OF SEYMOUR, DO HEREBY CERTIFY THAT THE RECORDS IN MY OFFICE SHOW NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS AS OF THIS THE ____ DAY OF _____, 2024, ON ANY OF THE LANDS INCLUDED IN THE PLAT OF HERITAGE ESTATES IN THE TOWN OF SEYMOUR.

(SIGNATURE): _____ DATE: _____
JEAN EISOLD, TOWN TREASURER

CERTIFICATE OF COUNTY TREASURER:

STATE OF WISCONSIN
COUNTY OF EAU CLAIRE §

I, GLENDA J. LYONS, BEING THE DULY ELECTED, ACTING AND QUALIFIED TREASURER OF THE COUNTY OF EAU CLAIRE, DO HEREBY CERTIFY THAT THE RECORDS IN MY OFFICE SHOW NO UNREDEEMED TAX SALES AND NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS AS OF THIS ____ DAY _____, 2024, ON ANY OF THE LANDS INCLUDED IN THE PLAT OF HERITAGE ESTATES IN THE TOWN OF SEYMOUR.

(SIGNATURE): _____ DATE: _____
GLENDA J. LYONS, COUNTY TREASURER

SURVEYOR'S CERTIFICATE:

I, PETER J. GARTMANN, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY: THAT I HAVE SURVEYED, DIVIDED AND MAPPED THE PLAT OF HERITAGE ESTATES LOCATED IN THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, AND THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4, AND THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4, AND THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4, OF SECTION 32, TOWNSHIP 26 NORTH, RANGE 9 WEST, TOWN OF SEYMOUR, EAU CLAIRE COUNTY, WISCONSIN AND BEING MORE PARTICULARLY DESCRIBED AS:

- COMMENCING AT THE EAST ¼ CORNER OF SECTION 12;
- THENCE N.89°50'35"W., ALONG THE EAST-WEST ¼ LINE OF SECTION 12, A DISTANCE OF 1323.87 FEET;
- THENCE N.00°16'51"E., A DISTANCE OF 42.15 FEET TO A POINT ON THE NORTH RIGHT WAY LINE OF OLSON DRIVE, ALSO BEING THE POINT OF BEGINNING;
- THENCE S.89°29'06"W., ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 265.72 FEET;
- THENCE N.89°51'05"W., ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 744.23 FEET;
- THENCE N.00°20'10"E., A DISTANCE OF 618.76 FEET;
- THENCE S.89°50'18"E., A DISTANCE OF 32.00 FEET;
- THENCE N.00°20'10"E., A DISTANCE OF 657.67 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHWEST ¼ OF THE NORTHEAST ¼ OF SECTION 12;
- THENCE S.89°49'58"E., ALONG SAID NORTH LINE, A DISTANCE OF 976.69 FEET TO THE NORTHEAST CORNER OF SAID SOUTHWEST ¼ OF THE NORTHEAST ¼;
- THENCE S.00°16'51"W., ALONG THE EAST LINE OF SAID SOUTHWEST ¼ OF THE NORTHEAST ¼, A DISTANCE OF 1273.02 FEET TO THE POINT OF BEGINNING.

BEING SUBJECT TO EXISTING EASEMENTS

THAT BY THE DIRECTION OF JTH ENTERPRISES., I HAVE SURVEYED, DIVIDED AND MAPPED THE LAND PARCEL WHICH IS REPRESENTED BY THIS PLAT OF HERITAGE ESTATES. THAT THE EXTERIOR BOUNDARY OF THE LAND PARCEL SURVEYED AND MAPPED IS AS SHOWN ON THE MAP AND DESCRIBED IN THE PROPERTY DESCRIPTION. THAT THIS PLAT OF HERITAGE ESTATES IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARY SURVEYED AND DESCRIBED, AND THE DIVISION OF IT. THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236 OF THE WISCONSIN STATUTES, A-E 7 OF THE WISCONSIN ADMINISTRATIVE CODE.

____ DATED THIS _____ DAY OF _____, 2024
PETER J. GARTMANN, P.L.S. 2279

CONSENT OF CORPORATE MORTGAGEE:

CITIZENS COMMUNITY FEDERAL BANK, A CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, MORTGAGEE OF THE ABOVE DESCRIBED LAND, DOES HEREBY CONSENT TO THE SURVEYING, DIVIDING, MAPPING AND DEDICATION OF THE LAND DESCRIBED ON THIS THE PLAT OF HERITAGE ESTATES AND DOES HEREBY CONSENT TO THE ABOVE CERTIFICATE JTH ENTERPRISES, OWNER OF SAID LAND.

IN WITNESS THEREOF, THE SAID CITIZENS COMMUNITY FEDERAL BANK, HAS CAUSED THESE PRESENTS TO BE SIGNED BY,

(PRINT NAME) _____ AND (PRINT NAME) _____

AT _____, WISCONSIN AND ITS CORPORATE SEAL TO BE HEREIN AFFIXED THIS ____ DAY OF _____ 2024

(SIGNATURE) _____ (SIGNATURE) _____

(PRINT NAME/TITLE) _____ (PRINT NAME/TITLE) _____

STATE OF _____
COUNTY OF _____ §

PERSONALLY APPEARED BEFORE ME THIS ____ DAY OF _____, 2024, THE ABOVE NAMED

(PRINT NAME) _____ AND (PRINT NAME) _____ TO ME KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME TO BE THEIR OWN FREE ACT AND DEED.

_____, NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

OWNER'S CERTIFICATE OF DEDICATION:

JTH ENTERPRISES., AS OWNERS, WE HEREBY CERTIFY THAT IT CAUSED THE LAND DESCRIBED ON THIS PLAT TO BE SURVEYED, DIVIDED, MAPPED AND DEDICATED AS REPRESENTED BY THIS PLAT.

IT ALSO CERTIFIES THAT THIS PLAT IS REQUIRED BY S.236.10 OR S.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION:

---- EAU CLAIRE COUNTY

----TOWN OF SEYMOUR

----DEPARTMENT OF ADMINISTRATION

WITNESS THE HAND AND SEAL OF SAID OWNER THIS ____ DAY OF _____, 2024

JOSH HURT: OWNER TRACY HURT: OWNER

STATE OF WISCONSIN
COUNTY OF _____ §

PERSONALLY CAME BEFORE ME THIS ____ DAY OF _____, 2024, THE ABOVE NAMED JOSH HURT AND TRACY HURT, TO ME KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME TO BE THEIR OWN FREE ACT AND DEED.

_____, NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

UTILITY EASEMENT PROVISIONS:

AN EASEMENT FOR ELECTRIC, NATURAL GAS, AND COMMUNICATIONS SERVICE IS HEREBY GRANTED BY

JTH ENTERPRISES, GRANTORS TO:
XCEL ENERGY COMPANY, GRANTEE
CHARTER COMMUNICATIONS, GRANTEE
EAU CLAIRE ENERGY COOPERATIVE, GRANTEE

THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, TO CONSTRUCT, INSTALL, OPERATE, REPAIR, MAINTAIN AND REPLACE FROM TIME TO TIME, FACILITIES USED IN CONNECTION WITH UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRICITY AND ELECTRIC ENERGY, GAS, TELEPHONE AND CABLE TV AND INTERNET FACILITIES FOR SUCH PURPOSES AS THE SAME IS NOW OR MAY HEREAFTER BE USED, ALL IN, OVER, UNDER, ACROSS, ALONG AND UPON THE PROPERTY SHOWN WITHIN THOSE AREAS ON THE PLAT DESIGNATED AS "UTILITY EASEMENT" TOGETHER WITH THE RIGHT TO INSTALL SERVICE CONNECTIONS UPON, ACROSS WITHIN AND BENEATH THE SURFACE OF EACH LOT TO SERVE IMPROVEMENTS, THEREON, OR ON ADJACENT LOTS; ALSO THE RIGHT TO TRIM OR CUT DOWN TREES, BRUSH AND ROOTS AS MAY BE REASONABLE REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT TO ENTER UPON THE SUBDIVIDED PROPERTY OF ALL SUCH PURPOSES. NO FACILITY, PEDESTAL, CABLE OR ANY TYPE OF STRUCTURE SHALL BE INSTALLED CLOSER THAN THREE FEET FROM ANY LOT CORNER. THE GRANTEEES AGREE TO RESTORE OR CAUSE TO HAVE RESTORED, THE PROPERTY, AS NEARLY AS IS REASONABLE POSSIBLE, TO THE CONDITION EXISTING PRIOR TO SUCH ENTRY BY THE GRANTEEES OR THEIR AGENTS. THIS RESTORATION, HOWEVER, DOES NOT APPLY TO THE INITIAL INSTALLATION OF SAID UNDERGROUND ELECTRIC FACILITIES OR COMMUNICATION FACILITIES OR TO ANY TREES, BRUSH OR ROOTS WHICH MAY BE REMOVED AT ANY TIME PURSUANT TO THE RIGHTS HEREIN GRANTED. BUILDINGS SHALL NOT BE PLACED OVER GRANTEEES' FACILITIES OR IN, UPON OR OVER THE PROPERTY WITHIN THE LINES MARKED "UTILITY EASEMENT WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEEES.

THE GRANT OF EASEMENT SHALL BE BINDING UPON AND INURE TO THE BENEFIT OF THE HEIRS, SUCCESSORS AND ASSIGNS OF ALL PARTIES HERETO.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis Stats.

Certified _____,
20____

Department of
Administration



HERITAGE ESTATES
LOCATED IN THE SOUTHWEST ¼ OF THE NORTHEAST ¼,
SECTION 12, TOWNSHIP 27 NORTH, RANGE 9 WEST,
TOWN OF SEYMOUR, EAU CLAIRE COUNTY, WISCONSIN

EAU CLAIRE COUNTY



VICINITY MAP

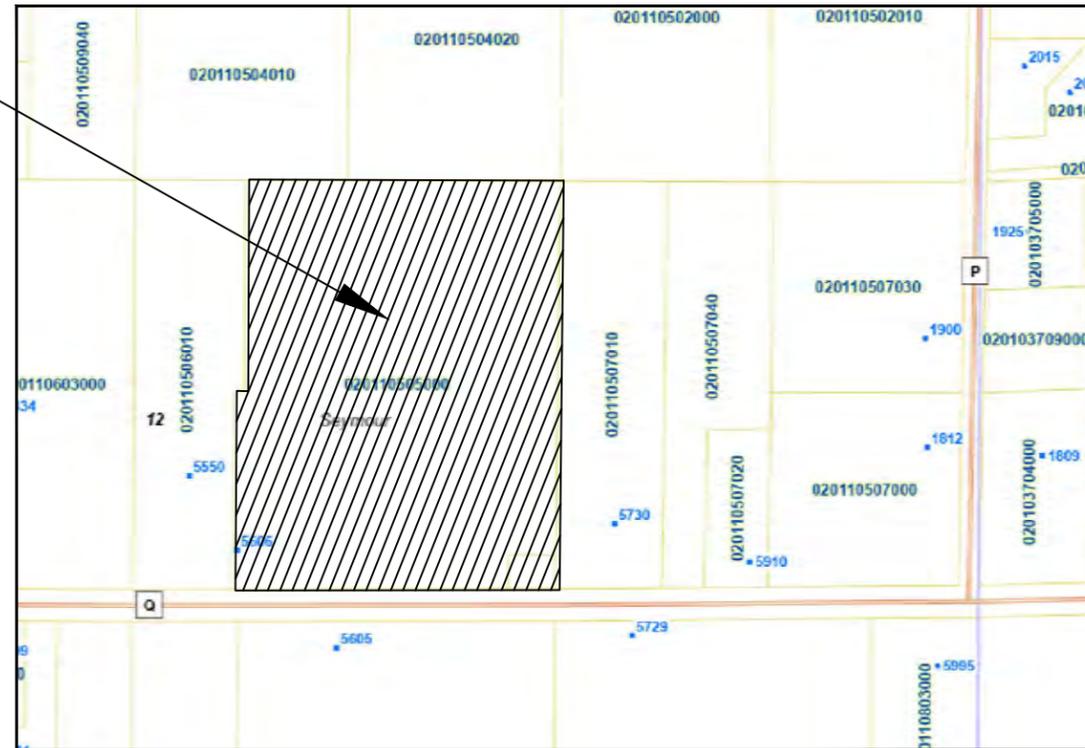


Know what's below.
Call before you dig.

PROJECT LOCATION

HERITAGE ESTATES JTH ENTERPRISES, LLC TOWN OF SEYMOUR EAU CLAIRE COUNTY

CONTACTS	
E.C. COUNTY	ROD ESLINGER – PLANNING & DEVELOPMENT DEPARTMENT DIRECTOR 715.839.4743
E.C.C. LAND CONSERVATION DEPT.	ZACH MOHR 715.839.6226
TOWN OF SEYMOUR	CLERK/TREASURER: JEAN EISOLD (715) 834-4999 CHAIR: JESSICA JANESSAN (715) 577-3840
ELECTRIC	EAU CLAIRE ENERGY COOPERATIVE ATTN: PAT BETHKE (715) 836-6486
GAS	XCEL ENERGY: DESIGN SECTION ATTN: BEN CARLI (715) 737-6022
CABLE	CHARTER COMMUNICATIONS ATTN: CURT MOORE (715) 247-1172



LOCATION MAP

LEGEND

EXISTING	PROPOSED	
		---BENCHMARK
		---CONTROL POINT
		---SIGN
		---CURB STOP
		---WELL
		---HYDRANT
		---GATE VALVE
		---CURB INLET
		---AREA DRAIN
		---SAN MH
		---STORM MH
		---SAN CLEANOUT
		---GAS MANHOLE
		---LIGHT POLE
		---UTILITY POLE
		---GUY WIRE
		---GUY POLE
		---PULL BOX
		---ELEC PED
		---CABLE PED
		---MAILBOX
		---TELE PED
		---IRON PIPE
		---ROW POST
		---REBAR
		---WATER MAIN
		---SANITARY SEWER
		---STORM SEWER
		---OVERHEAD UTILITY
		---TELEPHONE LINE
		---GAS LINE
		---ELECTRIC LINE
		---CABLE TV LINE
		---TREELINE
		---EXISTING TREES
		---MARSH
		---FENCE LINE
		---WOVEN WIRE FENCE
		---SILT FENCE
		---RETAINING WALL
		---CONTOURS MAJOR
		---CONTOURS MINOR

ABBREVIATIONS:
 BC=BACK OF CURB
 BLK=BLOCK NUMBER
 BTM=BOTTOM (ELEV)
 CL=CENTERLINE
 CS=CURB STOP
 ELEV=ELEVATION
 EOP=EDGE OF PAVEMENT
 EX=EXISTING
 FES=FLARED END SECTION
 FF=FINISHED FLOOR (ELEV)
 FL=FLOWLINE
 GF=GARAGE FLOOR (ELEV)
 OVERHEAD DOOR
 GLG=GROUND LINE GROOVE
 HWL=HIGH WATER LEVEL
 INV=INVERT
 LF=LINEAR FEET
 LO=LOOKOUT STYLE HOME
 LT=LEFT
 MIN=MINIMUM
 NWL=NORMAL WATER LEVEL
 PC=POINT OF CURVE
 PRC=CURVE REVERSAL POINT
 PT=POINT OF TANGENCY
 RAD=RADIUS
 RT=RIGHT
 R/W=RIGHT OF WAY
 SAN=SANITARY SEWER
 SP=SPOT ELEVATION
 SS=SAFETY SHELF (ELEV)
 STA=STATION
 STM=STORM SEWER
 TC=TOP OF CURB
 T.O.P.=TOP OF PIPE
 TP=TOP OF PAVEMENT
 TYP=TYPICAL
 W=WATER FITTINGS
 WTR=WATER
 WM=WATERMAIN
 WO=WALKOUT STYLE HOME

SHEET SCHEDULE	
SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	SHEET INDEX & ALIGNMENT REPORT
3	EXISTING CONDITIONS & DEMOLITION PLAN
4	EROSION CONTROL PLAN
5	GRADING PLAN
6-9	ALIGNMENT 1 - PLAN & PROFILE
10-13	ROAD CROSS SECTIONS
14-15	STORMWATER POND CROSS SECTIONS
16-18	DETAILS

PROJECT DEVELOPER/ CLIENT:
 JTH ENTERPRISES, LLC
 ATTN: JOSH HURT
 5972 HEATHERMOOR LN
 EAU CLAIRE, WI 54703
 PHONE: 715-271-7158
 EMAIL: joshua_wnh@yahoo.com



PROJECT ENGINEER:
 ADVANCED ENGINEERING CONCEPTS
 ATTN: SEAN BOHAN, P.E.
 1360 INTERNATIONAL DRIVE
 EAU CLAIRE, WI 54701
 PHONE: 715.552.0330
 EMAIL: sbohan@aec.engineering

SCHEDULE OF REQUIRED PERMITS		
APPROVALS NEEDED	DATE SUBMITTED	APPROVAL DATE
WIDNR – WRAPP PERMIT		
E.C. COUNTY STORM WATER PERMIT		

AEC PROJECT #: 24019

PLANS DATED: JULY 2024



ADVANCED ENGINEERING CONCEPTS
 1360 INTERNATIONAL DR.
 EAU CLAIRE, WI 54701
 PH 715-552-0330
 INFO@AEC.ENGINEERING
 COPYRIGHT 2024, AEC LLC



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0 30 60 120

LEGEND

ENVIRONMENTALLY SENSITIVE AREA (30% SLOPE)

Horizontal Alignment Report

Report Date: 6/6/2024 9:59:48 AM
Alignment Name: ALN1
Station Range: Start: 0+00.00, End: 18+09.09
Description:

Begin ALN1
N 288,245.7878 E 361,006.1136
0+00.00

Line (1)
S89° 35' 26"E 41.24'
N 288,245.4932 E 361,047.3495
0+41.24

Curve (2)
BC N 288,245.4932 E 0+41.24
CTR N 288,425.8599 E 361,049.6800
PI N 288,243.8842 E 361,171.8767

Direction Back S89° 15' 35"E
Radius 180.38'
Delta 69°14'36"(LT)
Length 218.00'
Tangent 124.54'
Chord Direction N56° 07'
07"E Distance 204.97'
Direction Ahead N21° 29' 49"E

EC N 288,359.7586 E 361,217.5138
2+59.23
Curve (2)

Line (3)
Non-Tangent Radial Bearing
S68° 30' 11"E
N21° 25' 56"E 203.57'
N 288,549.2523 E 361,291.8990
4+62.80

Curve (4)
BC N 288,549.2523 E 4+62.80
CTR N 288,494.4219 E 361,431.5777
PI N 288,798.9566 E 361,389.9196

Direction Back N21° 25' 56"E
Radius 150.06'
Delta 121°33'24"(RT)
Length 318.35'
Tangent 268.25'
Chord Direction N82° 12'
39"E Distance 261.92'
Direction Ahead S37° 00' 39"E

EC N 288,584.7501 E 361,551.3998
7+81.15
Curve (4)

Line (5)
S37° 00' 39"E 278.97'
N 288,361.9841 E 361,719.3327
10+60.13
Line (5)

Non-Tangent Radial Bearing
N52° 59' 20"E
Curve (6)
BC N 288,361.9841 E 361,719.3327 10+60.13
CTR N 288,175.2272 E 361,471.5967
PI N 288,189.0841 E 361,849.6741

Direction Back S37° 00' 40"E
Radius 310.24'
Delta 69°49'26"(RT)
Length 378.08'
Tangent 216.53'
Chord Direction S2° 05'
56"E Distance 355.12'
Direction Ahead S32° 48' 47"W

EC N 288,007.1066 E 361,732.3393
14+38.21
Curve (6)

Reversing Curve
Curve (7)
BC N 288,007.1066 E 361,732.3393 14+38.21
CTR N 287,867.8473 E 361,948.3202
PI N 287,943.3582 E 361,691.2359

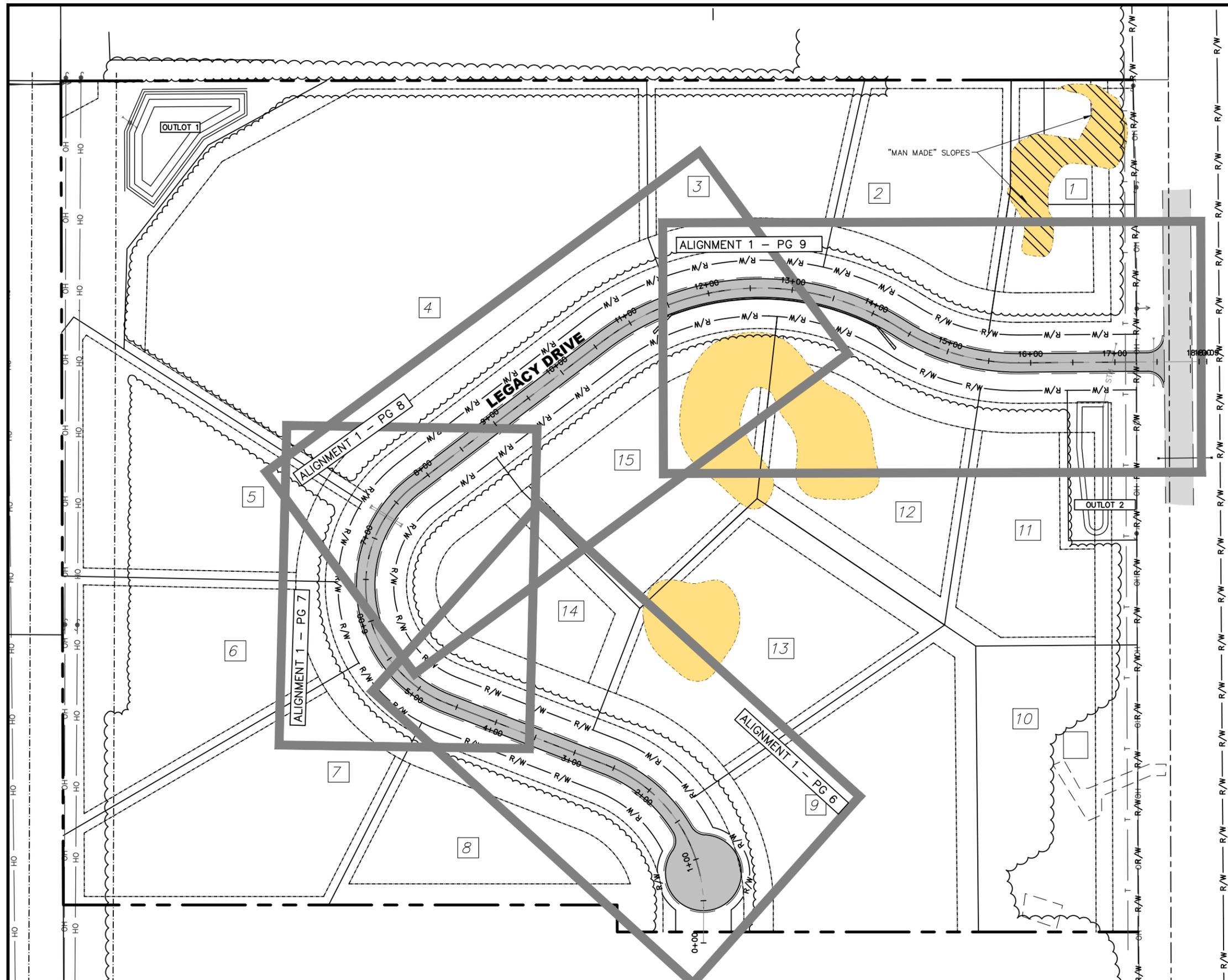
Direction Back S32° 48' 47"W
Radius 256.98'
Delta 32°53'19"(LT)
Length 147.51'
Tangent 75.85'
Chord Direction S16° 22'
07"W Distance 145.50'
Direction Ahead S0° 04' 33"E

EC N 287,867.5075 E 361,691.3361
15+85.72
Curve (7)

Line (8)
Non-Tangent Radial Bearing
S89° 55' 27"W
S0° 04' 37"E 223.37'
N 287,644.1417 E 361,691.6365
18+09.09
Line (8)

N 287,644.1417 E 361,691.6365
18+09.09
End ALN1

Alignment Length: 1,809.09'



CITY RD Q/ OLSON DRIVE

NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

PROJ. NO.
24019



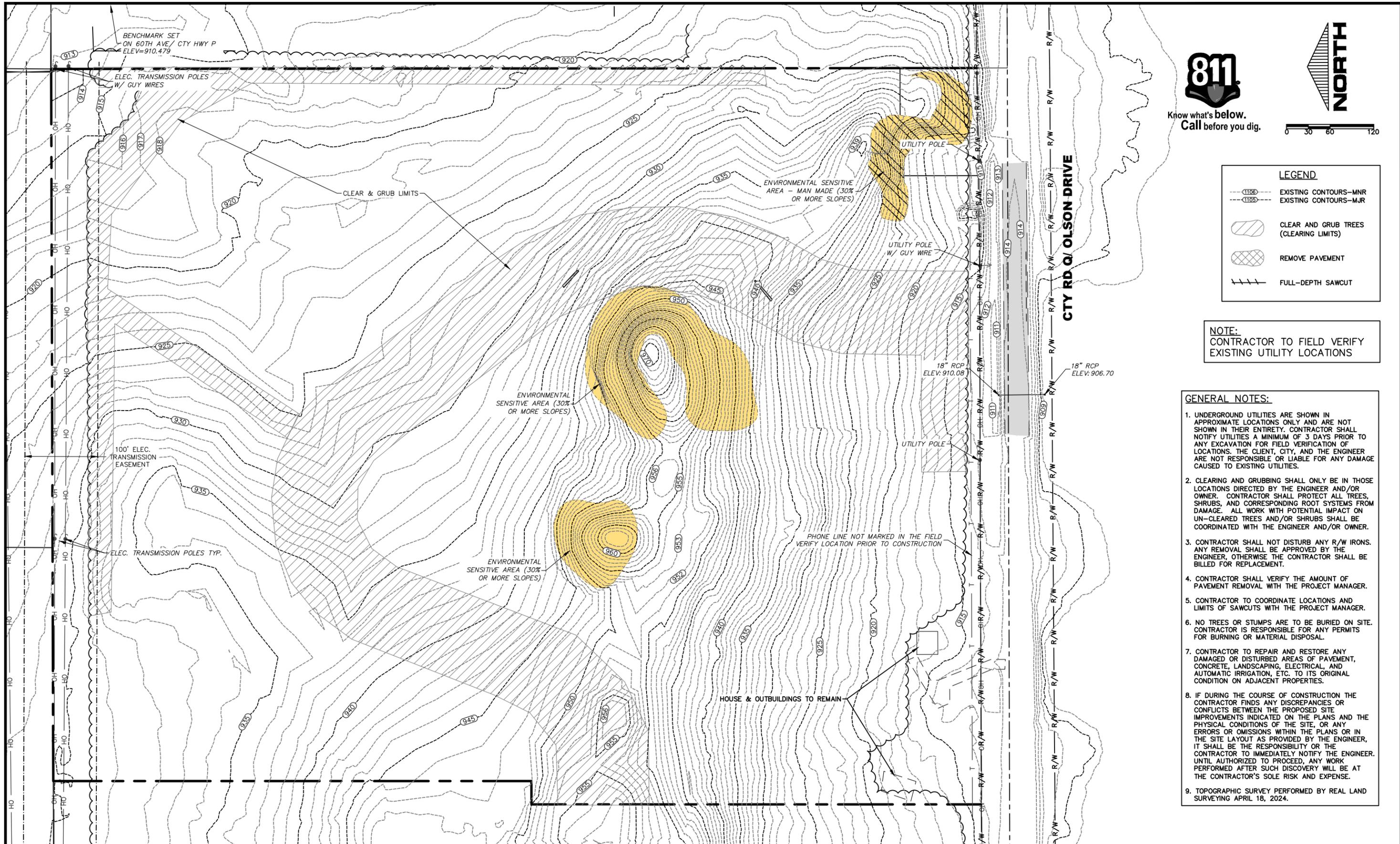
ADVANCED ENGINEERING CONCEPTS
1360 INTERNATIONAL DR
EAU CLAIRE, WI 54701
PH: 715-552-0330
info@aec-engineering.com
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SHEET INDEX

HERITAGE ESTATES
JTH ENTERPRISES, LLC
5972 HEATHERMOOR LN,
EAU CLAIRE, WI

DWG NAME
24019 PG2
INDEX
DATE
07/2024

2
18



Know what's below.
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0 30 60 120

LEGEND

- EXISTING CONTOURS—MNR
- EXISTING CONTOURS—MJR
- CLEAR AND GRUB TREES (CLEARING LIMITS)
- REMOVE PAVEMENT
- FULL-DEPTH SAWCUT

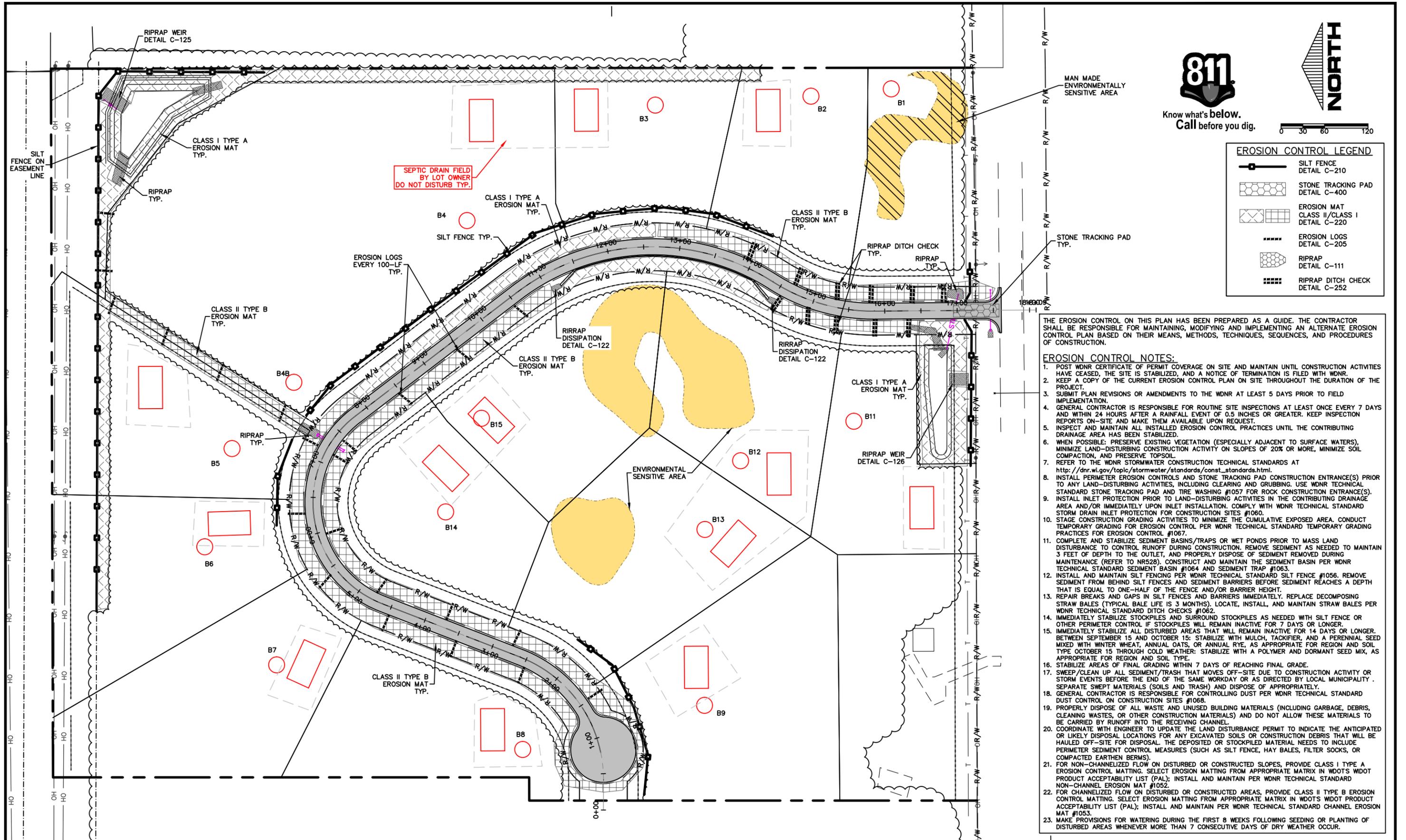
NOTE:
CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS

GENERAL NOTES:

1. UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY AND ARE NOT SHOWN IN THEIR ENTIRETY. CONTRACTOR SHALL NOTIFY UTILITIES A MINIMUM OF 3 DAYS PRIOR TO ANY EXCAVATION FOR FIELD VERIFICATION OF LOCATIONS. THE CLIENT, CITY, AND THE ENGINEER ARE NOT RESPONSIBLE OR LIABLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES.
2. CLEARING AND GRUBBING SHALL ONLY BE IN THOSE LOCATIONS DIRECTED BY THE ENGINEER AND/OR OWNER. CONTRACTOR SHALL PROTECT ALL TREES, SHRUBS, AND CORRESPONDING ROOT SYSTEMS FROM DAMAGE. ALL WORK WITH POTENTIAL IMPACT ON UN-CLEARED TREES AND/OR SHRUBS SHALL BE COORDINATED WITH THE ENGINEER AND/OR OWNER.
3. CONTRACTOR SHALL NOT DISTURB ANY R/W IRONS. ANY REMOVAL SHALL BE APPROVED BY THE ENGINEER, OTHERWISE THE CONTRACTOR SHALL BE BILLED FOR REPLACEMENT.
4. CONTRACTOR SHALL VERIFY THE AMOUNT OF PAVEMENT REMOVAL WITH THE PROJECT MANAGER.
5. CONTRACTOR TO COORDINATE LOCATIONS AND LIMITS OF SAWCUTS WITH THE PROJECT MANAGER.
6. NO TREES OR STUMPS ARE TO BE BURIED ON SITE. CONTRACTOR IS RESPONSIBLE FOR ANY PERMITS FOR BURNING OR MATERIAL DISPOSAL.
7. CONTRACTOR TO REPAIR AND RESTORE ANY DAMAGED OR DISTURBED AREAS OF PAVEMENT, CONCRETE, LANDSCAPING, ELECTRICAL, AND AUTOMATIC IRRIGATION, ETC. TO ITS ORIGINAL CONDITION ON ADJACENT PROPERTIES.
8. IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
9. TOPOGRAPHIC SURVEY PERFORMED BY REAL LAND SURVEYING APRIL 18, 2024.

NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

PROJ. NO. 24019		ADVANCED ENGINEERING CONCEPTS 1360 INTERNATIONAL DR EAU CLAIRE, WI 54701 PH: 715-552-0330 info@aec-engineering.com COPYRIGHT 2024 AEC LLC.	EXISTING CONDITIONS AND DEMOLITION PLAN	HERITAGE ESTATES JTH ENTERPRISES, LLC 5972 HEATHERMOOR LN, EAU CLAIRE, WI	DWG NAME 24019 PG3 EXISTING DATE 07/2024	3 18
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	SILT FENCE DETAIL C-210
	STONE TRACKING PAD DETAIL C-400
	EROSION MAT CLASS II/CLASS I DETAIL C-220
	EROSION LOGS DETAIL C-205
	RIPRAP DETAIL C-111
	RIPRAP DITCH CHECK DETAIL C-252

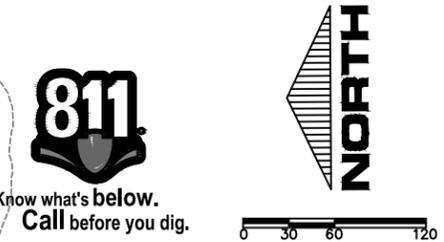
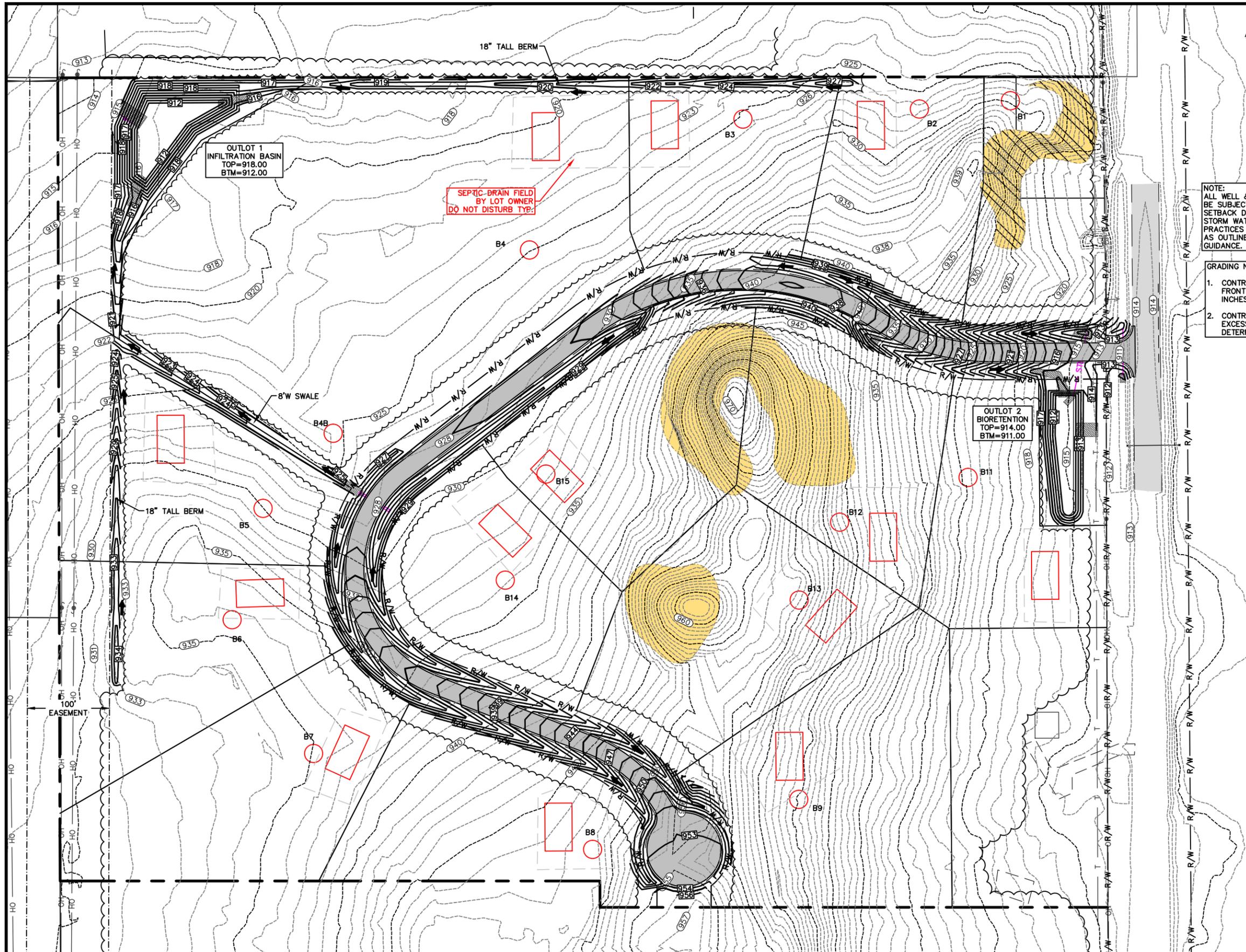
THE EROSION CONTROL ON THIS PLAN HAS BEEN PREPARED AS A GUIDE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, MODIFYING AND IMPLEMENTING AN ALTERNATE EROSION CONTROL PLAN BASED ON THEIR MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.

EROSION CONTROL NOTES:

1. POST WDNR CERTIFICATE OF PERMIT COVERAGE ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED, THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WDNR.
2. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
3. SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE WDNR AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
4. GENERAL CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
5. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
6. WHEN POSSIBLE: PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
7. REFER TO THE WDNR STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT http://dnr.wi.gov/topic/stormwater/standards/const_standards.html
8. INSTALL PERIMETER EROSION CONTROLS AND STONE TRACKING PAD CONSTRUCTION ENTRANCE(S) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDNR TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057 FOR ROCK CONSTRUCTION ENTRANCE(S).
9. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060.
10. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDNR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.
11. COMPLETE AND STABILIZE SEDIMENT BASINS/TRAPS OR WET PONDS PRIOR TO MASS LAND DISTURBANCE TO CONTROL RUNOFF DURING CONSTRUCTION. REMOVE SEDIMENT AS NEEDED TO MAINTAIN 3 FEET OF DEPTH TO THE OUTLET, AND PROPERLY DISPOSE OF SEDIMENT REMOVED DURING MAINTENANCE (REFER TO NR528). CONSTRUCT AND MAINTAIN THE SEDIMENT BASIN PER WDNR TECHNICAL STANDARD SEDIMENT BASIN #1064 AND SEDIMENT TRAP #1063.
12. INSTALL AND MAINTAIN SILT FENCING PER WDNR TECHNICAL STANDARD SILT FENCE #1056. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
13. REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDNR TECHNICAL STANDARD DITCH CHECKS #1062.
14. IMMEDIATELY STABILIZE STOCKPILES AND SURROUNDING STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
15. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
16. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
17. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY LOCAL MUNICIPALITY. SEPARATE SWEEP MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
18. GENERAL CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES #1068.
19. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
20. COORDINATE WITH ENGINEER TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATIONS FOR ANY EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL BE HAULED OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS, OR COMPACTED EARTHEN BERMS).
21. FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS I TYPE A EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT'S MWDOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1052.
22. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS II TYPE B EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT'S MWDOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD CHANNEL EROSION MAT #1053.
23. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.

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Know what's below.
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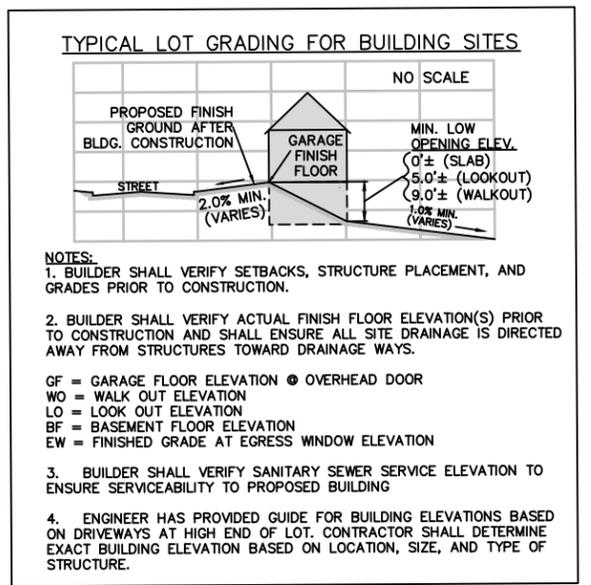
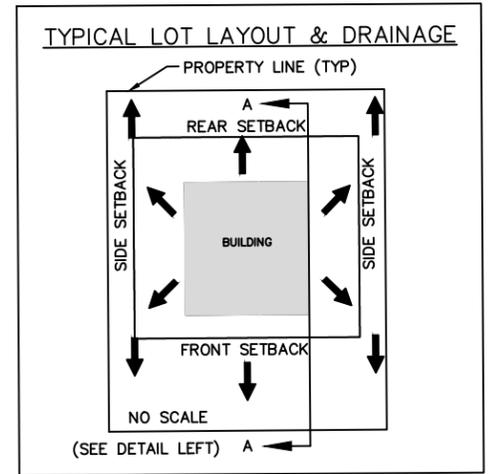
NOTE:
ALL WELL & SEPTIC SYSTEMS SHALL BE SUBJECT TO THE APPROPRIATE SETBACK DISTANCES FROM THE STORM WATER MANAGEMENT PRACTICES AND FROM EACH OTHER, AS OUTLINED IN NR812 AND DSPS GUIDANCE.

GRADING NOTES:

- CONTRACTOR TO HOLD PAD AT FRONT SETBACK DOWN 12 INCHES.
- CONTRACTOR SHALL PLACE EXCESS MATERIAL IN STOCKPILES DETERMINED BY OWNER.

GRADING PLAN LEGEND

---(1106)---	EXISTING CONTOURS-MNR
---(1105)---	EXISTING CONTOUR-MJR
---(851)---	FINAL CONTOUR-MJR
---(849)---	FINAL CONTOUR-MNR
---	DRAINAGE PATTERN LINES
---	GRADE BREAK LINES
1%	PROPOSED DRAINAGE DIRECTION
+ XXX.XX	PROPOSED SPOT ELEVATION
+ XXX.X±	EXISTING SPOT ELEVATION



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GRADING PLAN

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DWG NAME 24019 PG5 GRADING 5

DATE 07/2024

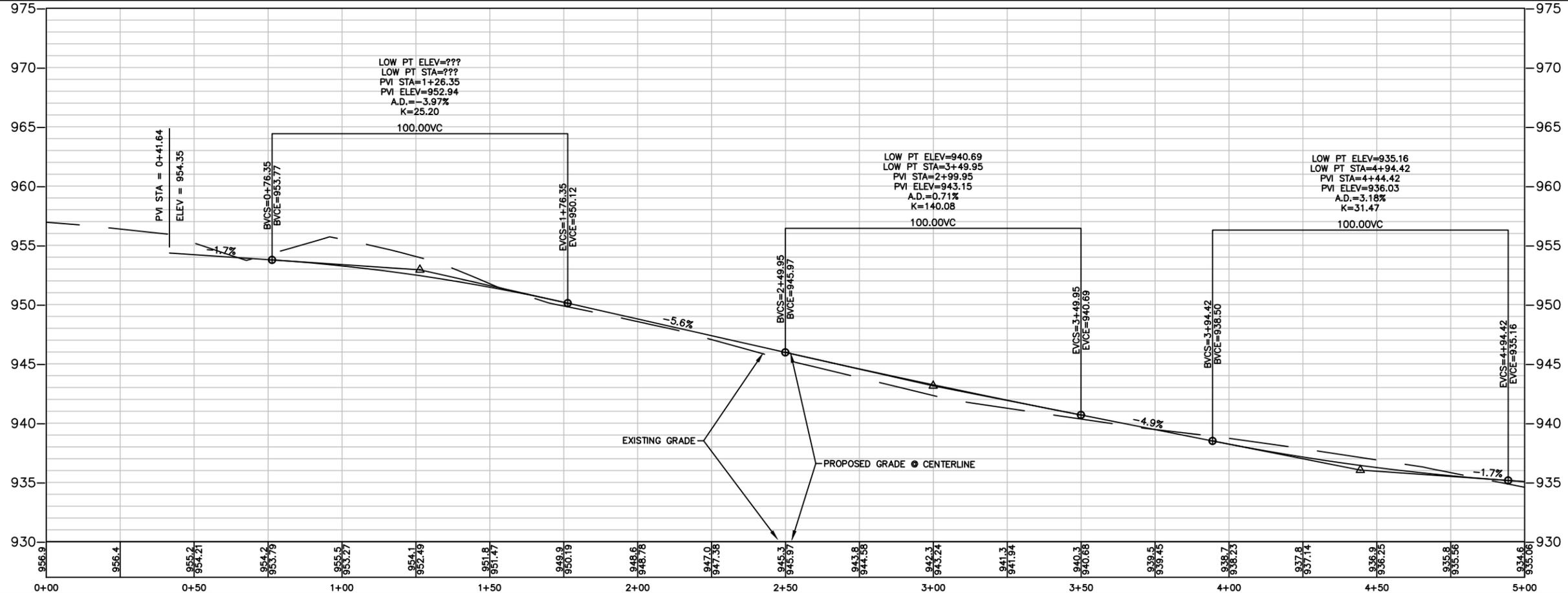
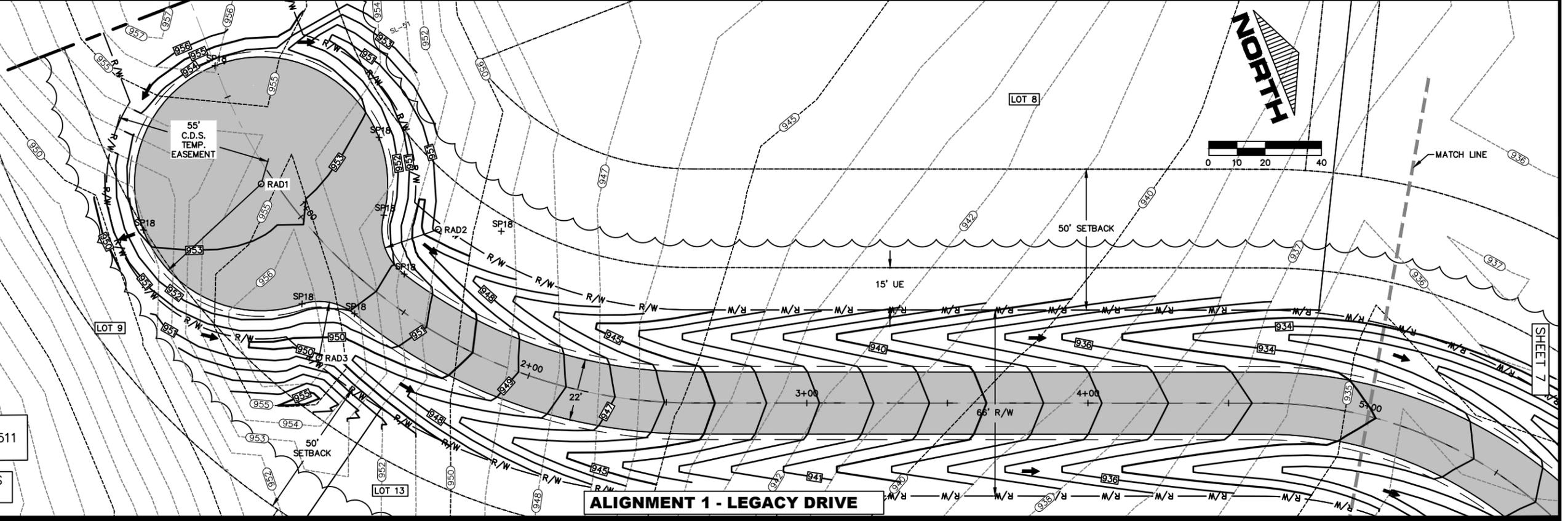
Page 107 18

EDGE OF BIT ELEVATION DATA			
SP1	STA. 1+41.96	11.00' LT.	951.61
SP2	STA. 1+20.93	22.15 LT.	952.33
SP3	STA. 0+94.61	39.38 LF	952.82
SP4	STA. 0+38.04	0.0	953.96
SP5	STA. 0+74.95	48.47 RT.	953.07
SP6	STA. 1+21.73	20.69 RT.	952.23
SP7	STA. 1+36.76	11.00 RT.	951.98
SP8	STA. 0+82.45	4.25 RT.	953.42

EDGE OF PAVEMENT RADIUS LEGEND			
RAD1	45.0' RAD	STA. 00+82.45	4.25' RT
RAD2	20.0' RAD	STA. 1+41.99	31.00' LT.
RAD3	20.0' RAD	STA. 1+36.75	31.00' RT

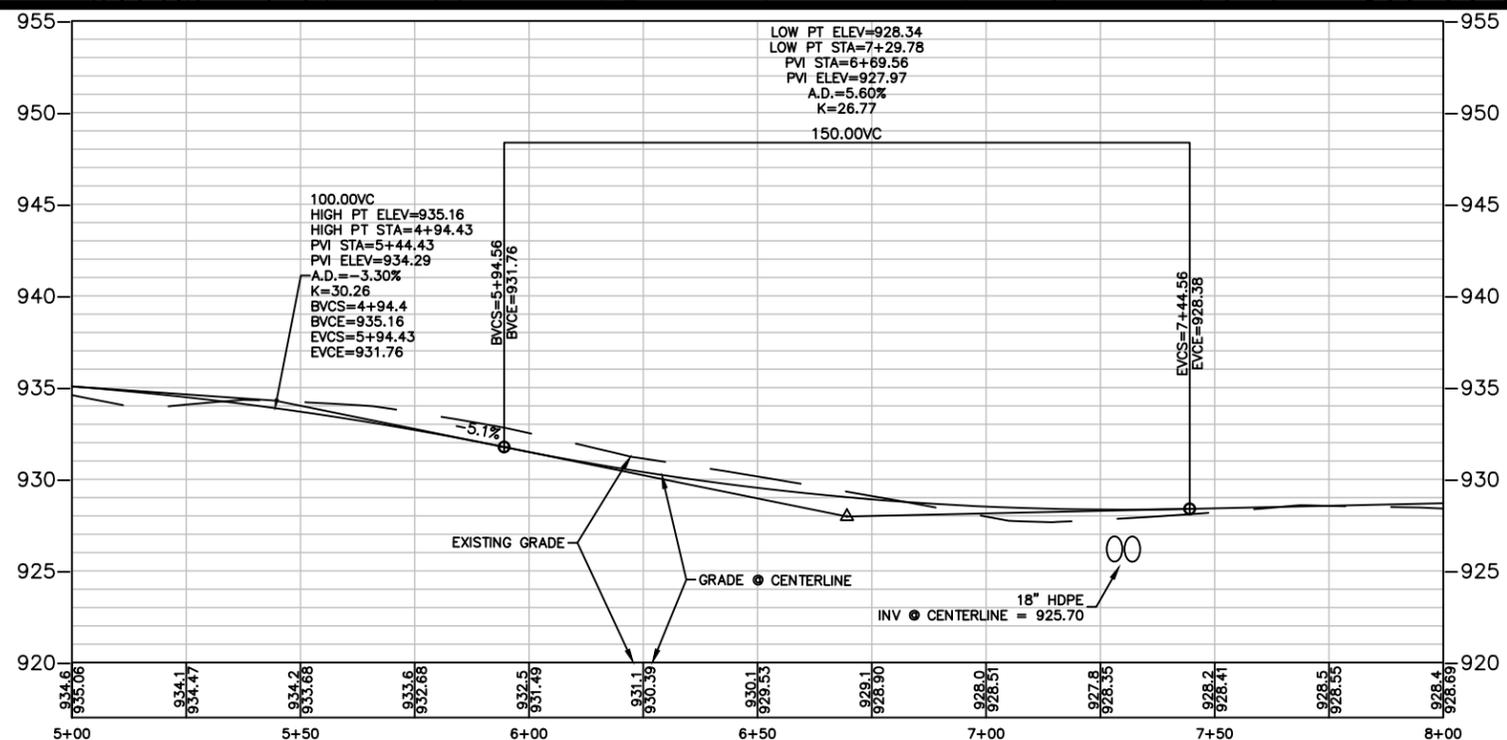
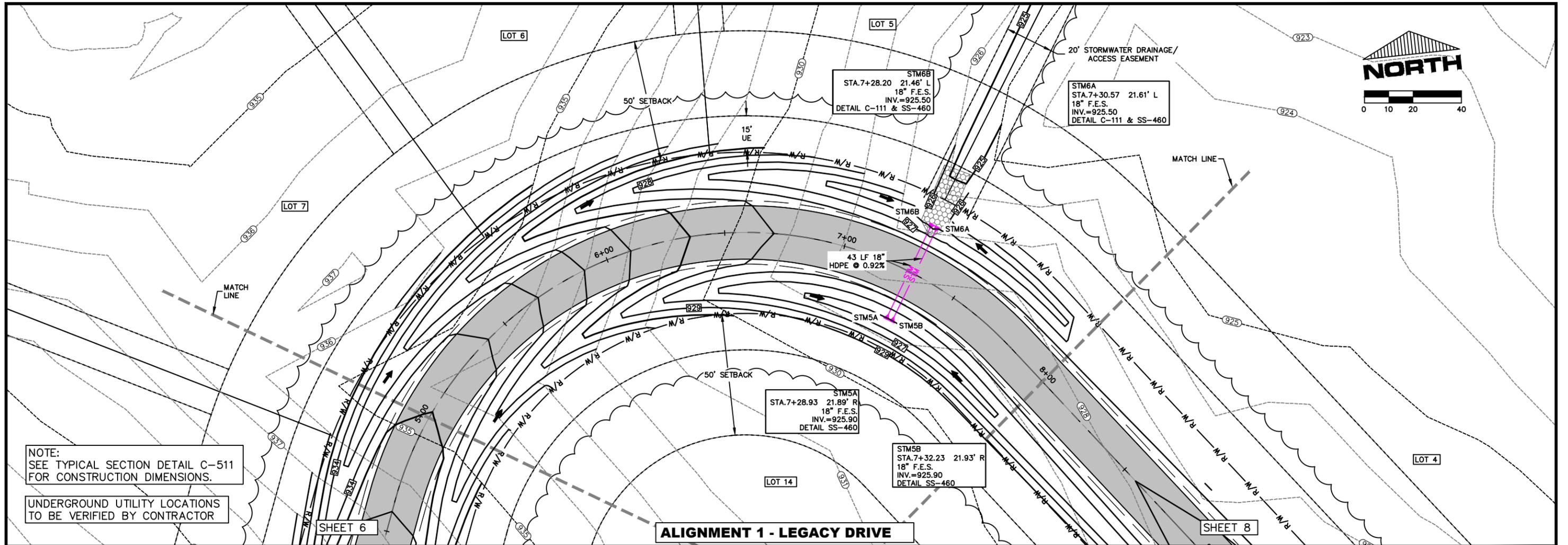
NOTE:
SEE TYPICAL SECTION DETAIL C-511
FOR CONSTRUCTION DIMENSIONS.

UNDERGROUND UTILITY LOCATIONS
TO BE VERIFIED BY CONTRACTOR



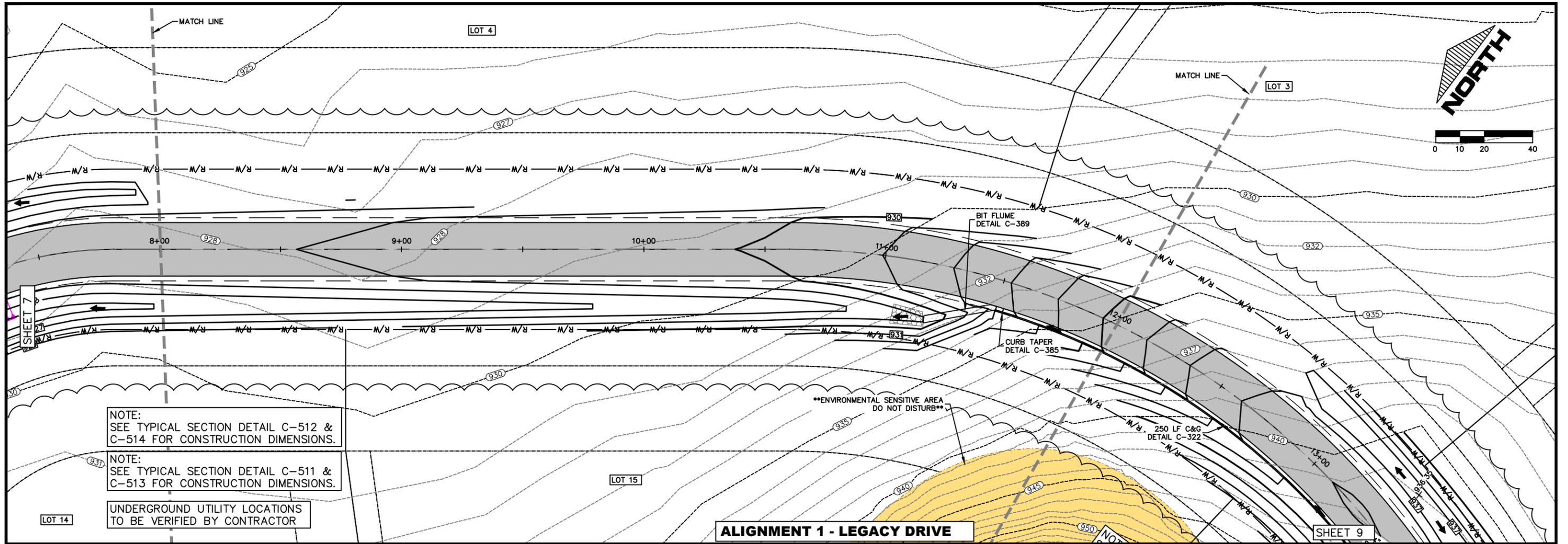
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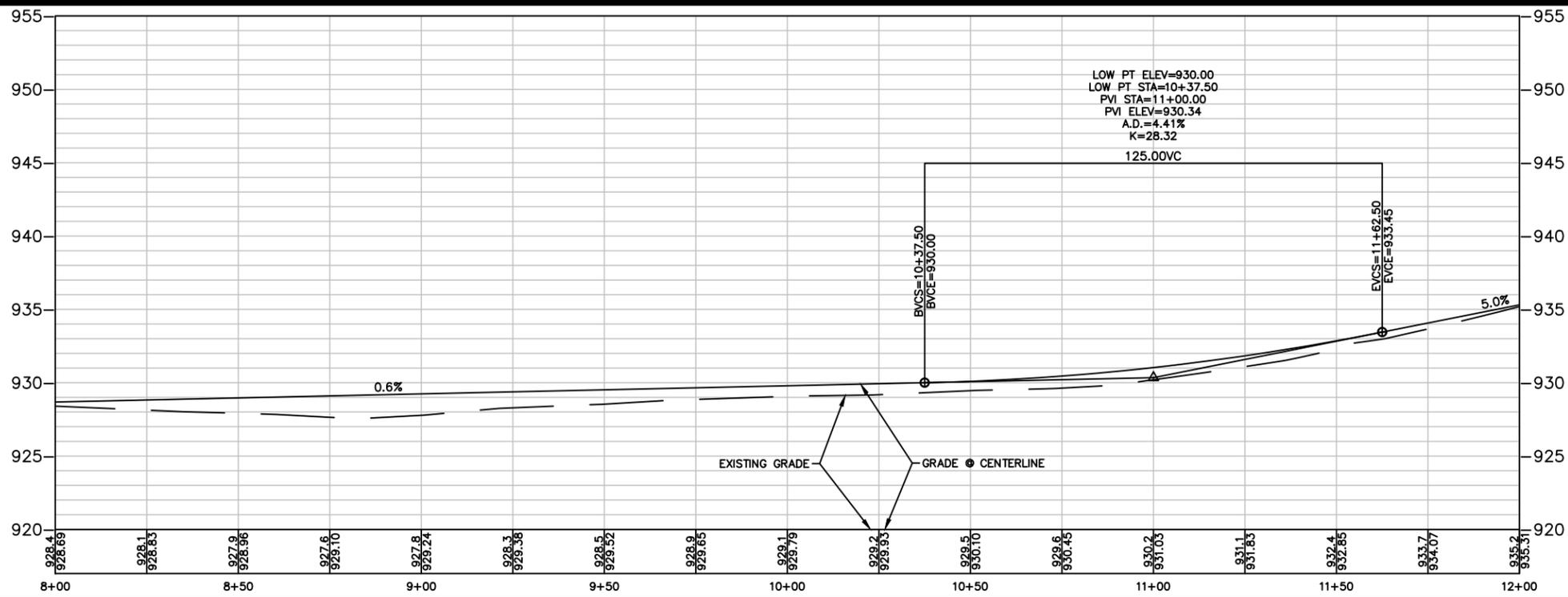


NOTE:
SEE TYPICAL SECTION DETAIL C-512 &
C-514 FOR CONSTRUCTION DIMENSIONS.

NOTE:
SEE TYPICAL SECTION DETAIL C-511 &
C-513 FOR CONSTRUCTION DIMENSIONS.

UNDERGROUND UTILITY LOCATIONS
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ALIGNMENT 1 - LEGACY DRIVE



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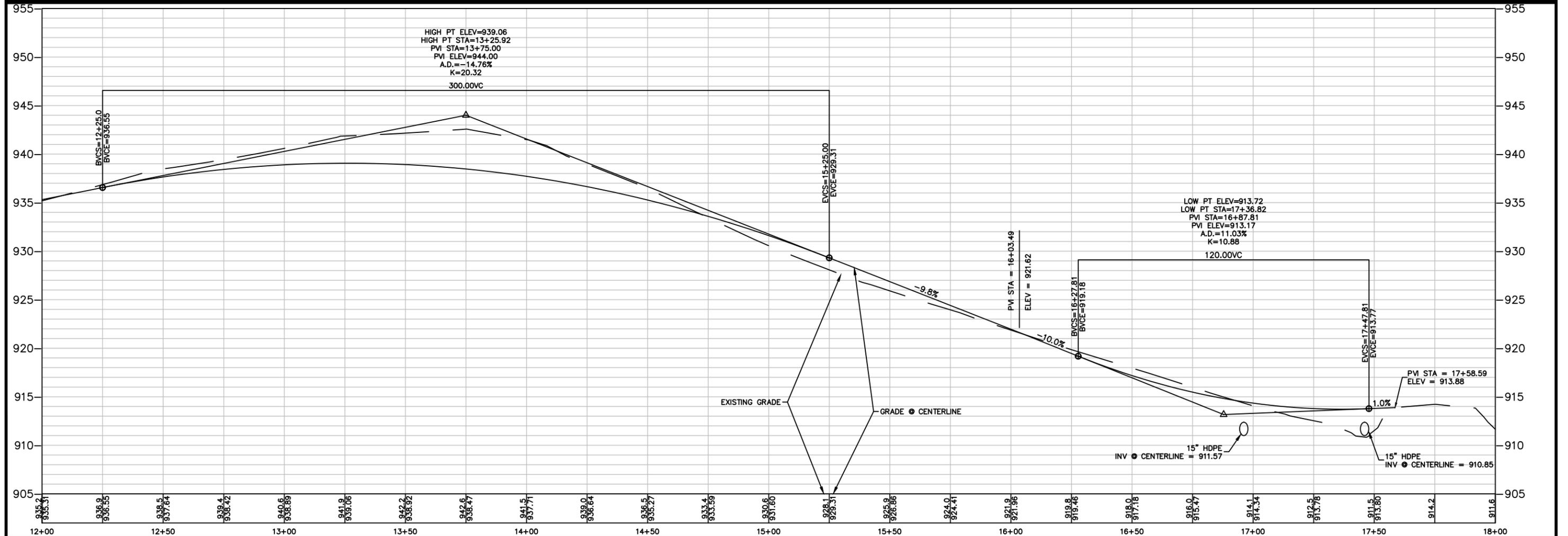
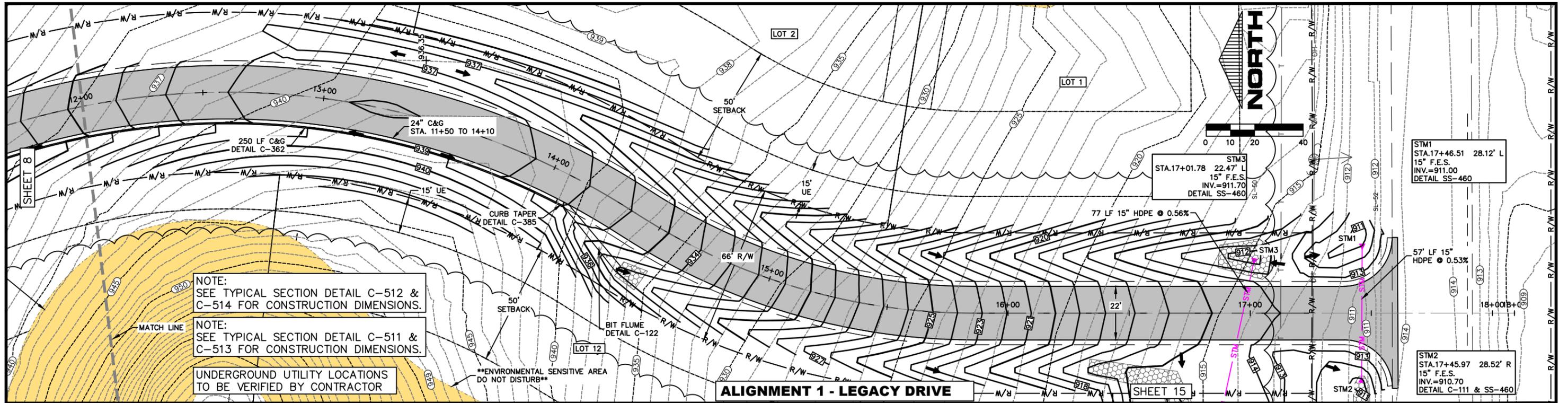


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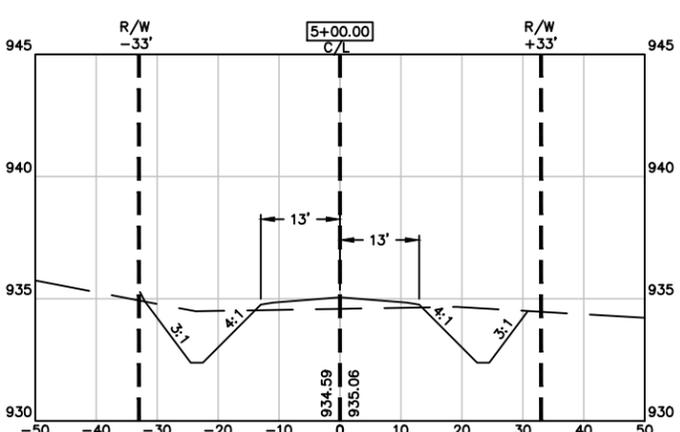
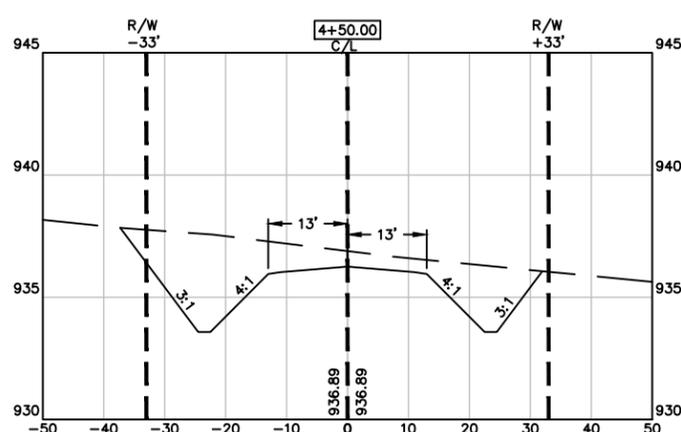
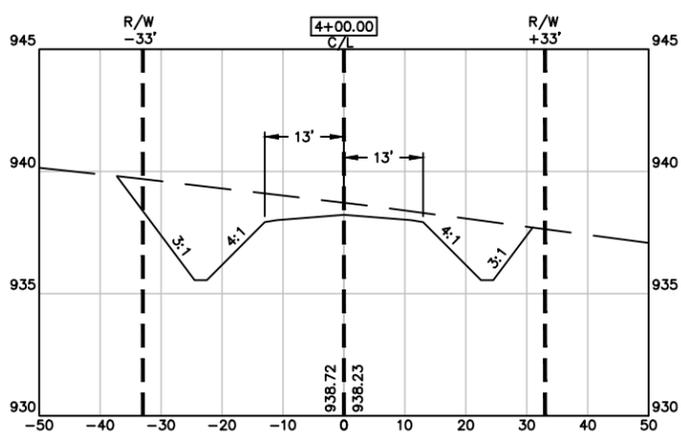
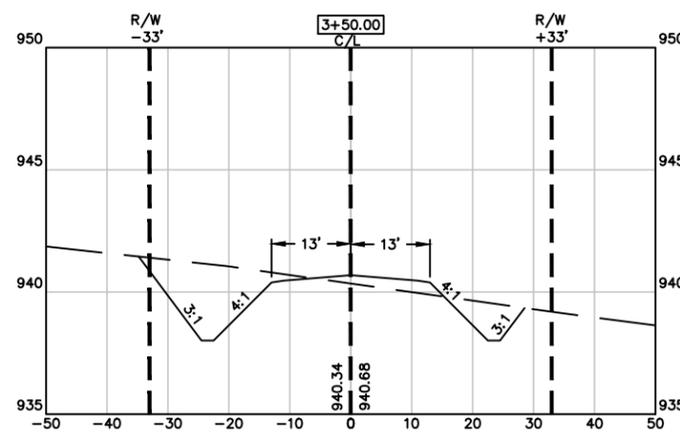
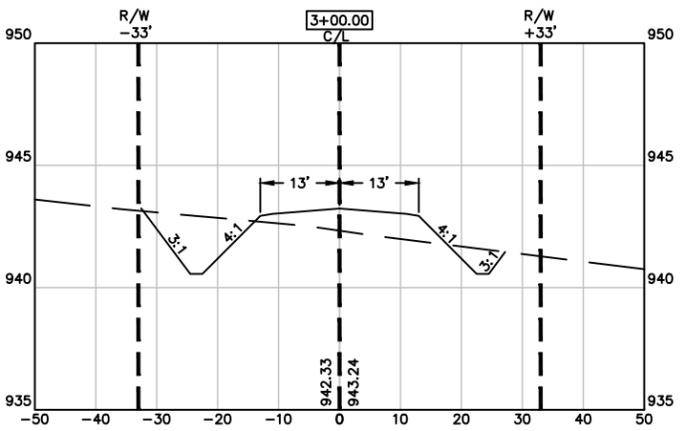
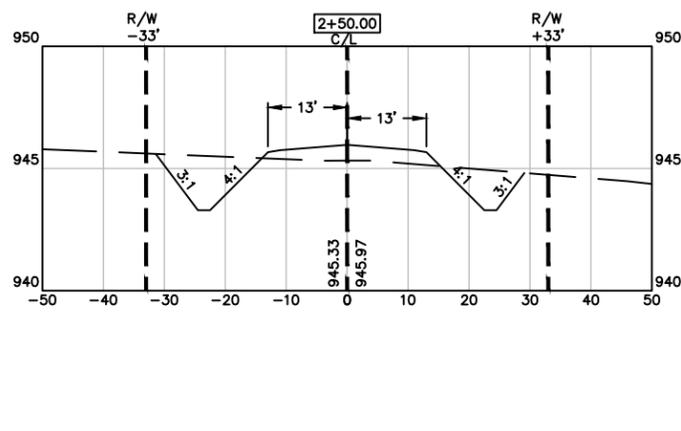
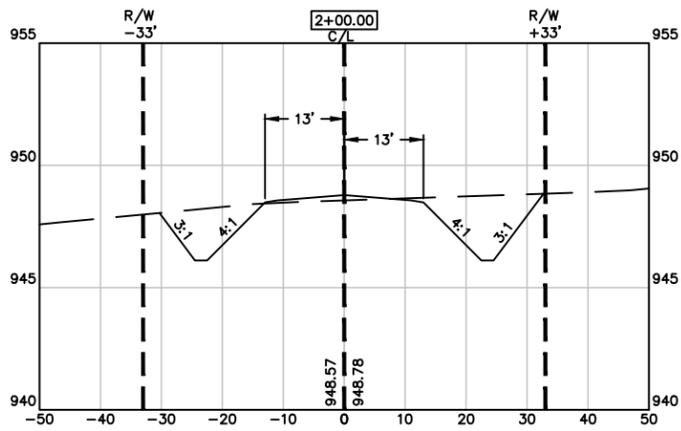
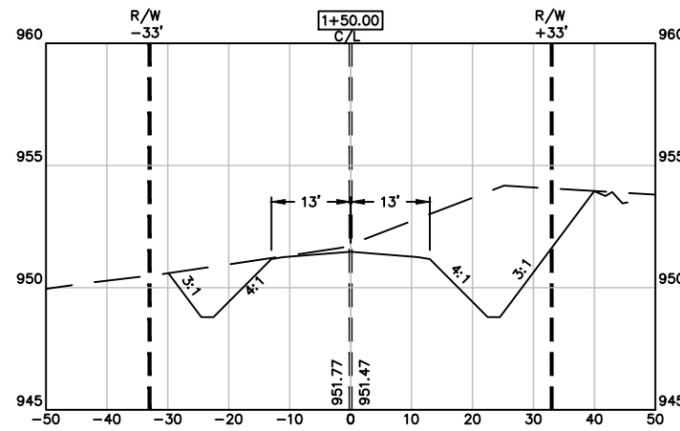
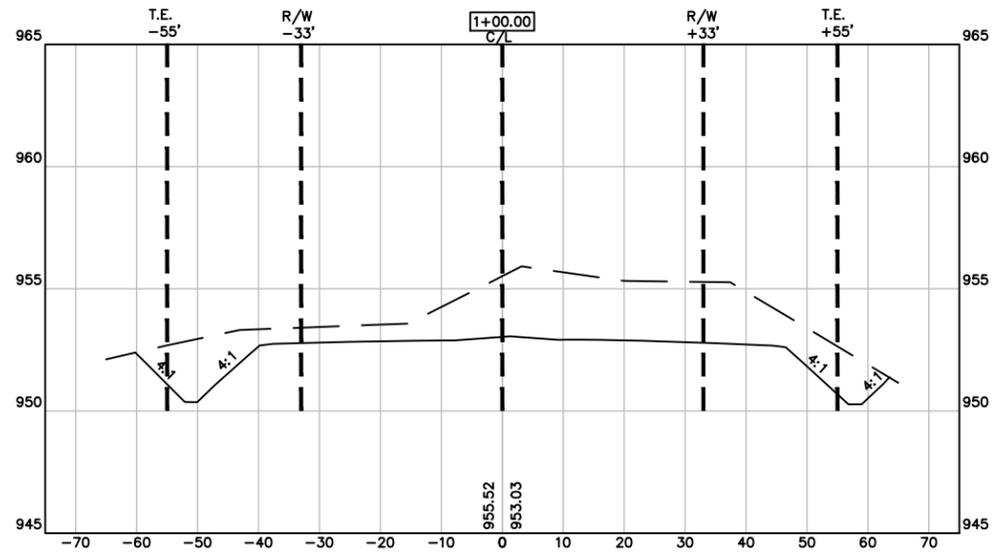
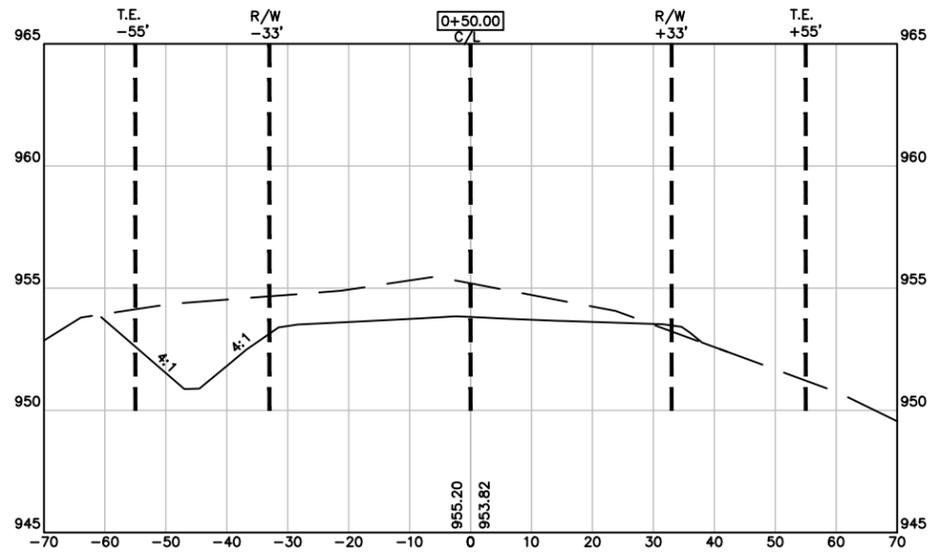
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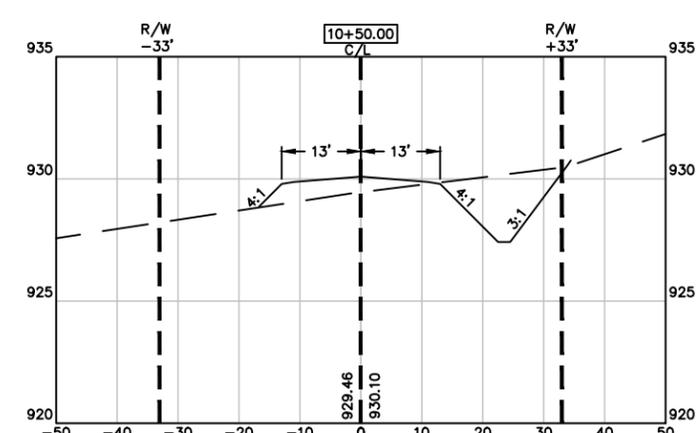
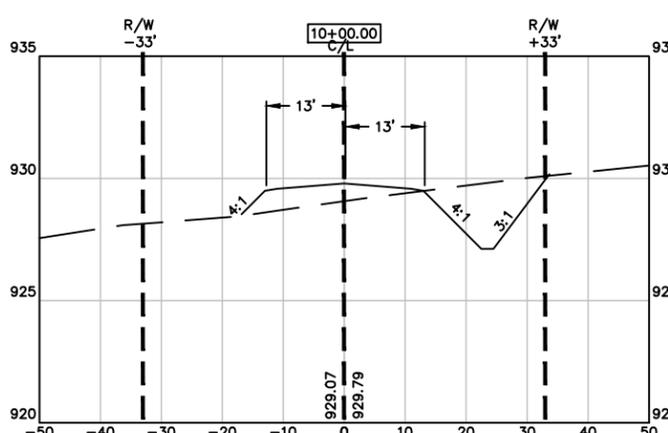
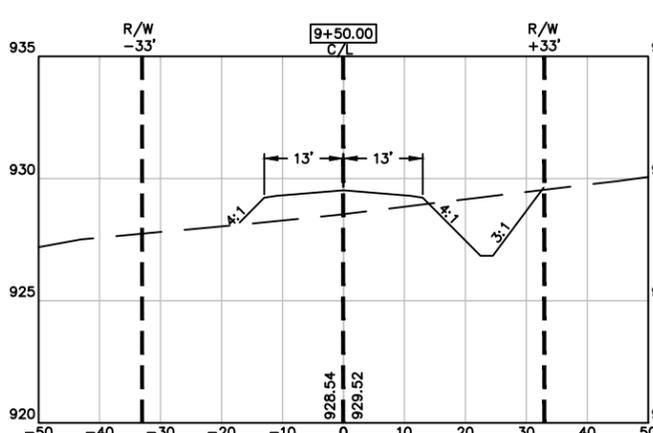
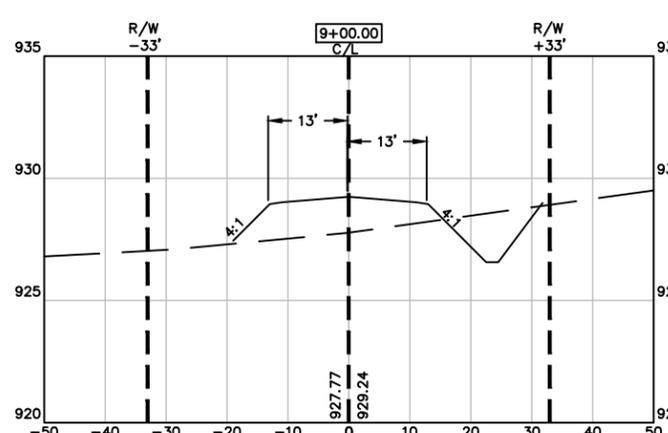
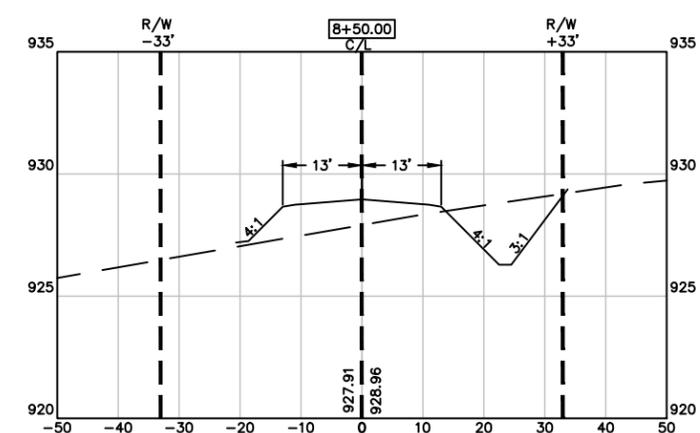
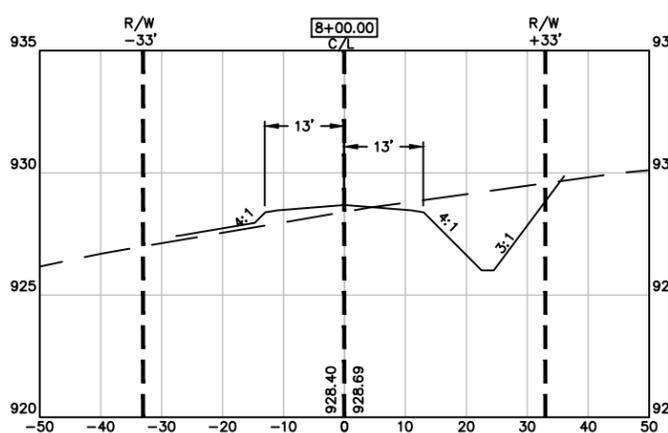
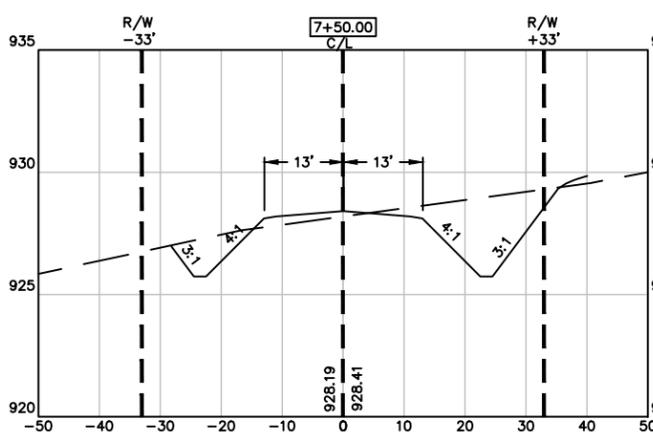
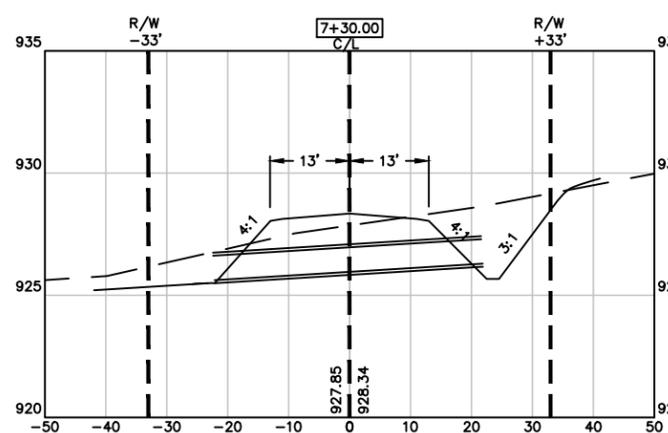
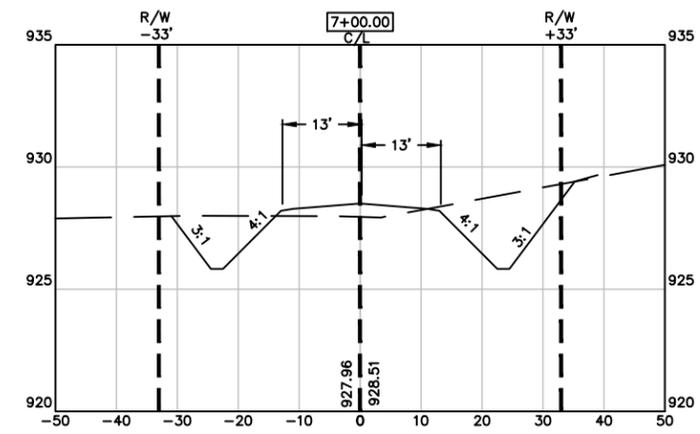
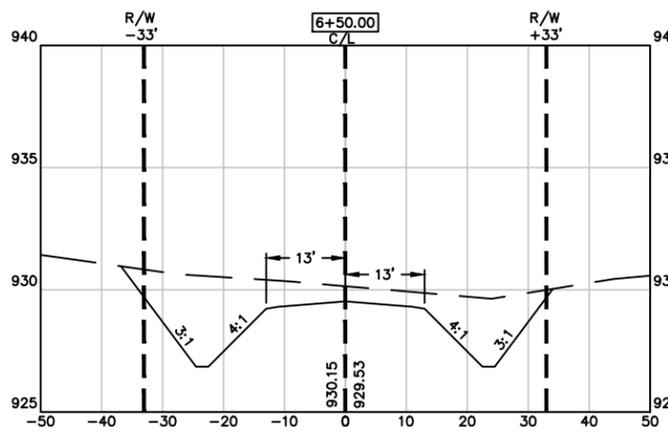
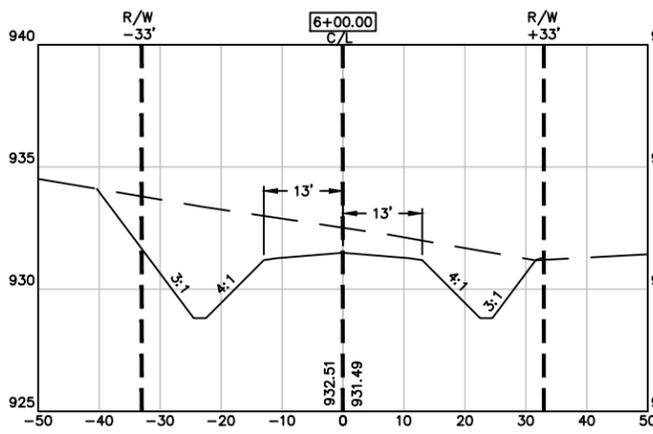
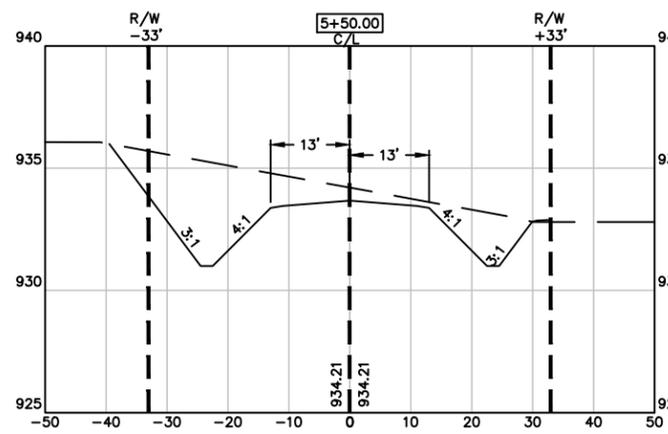
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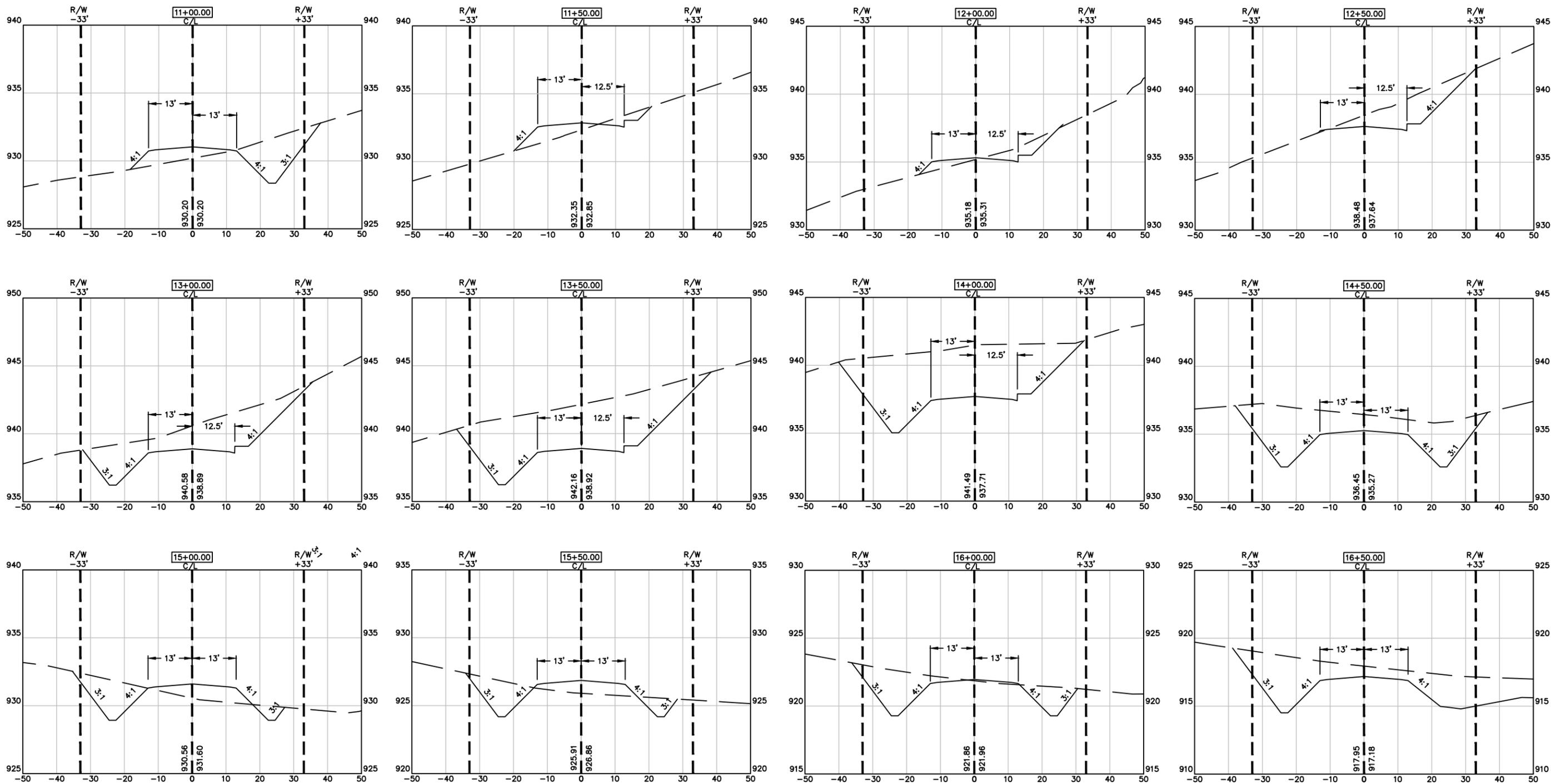


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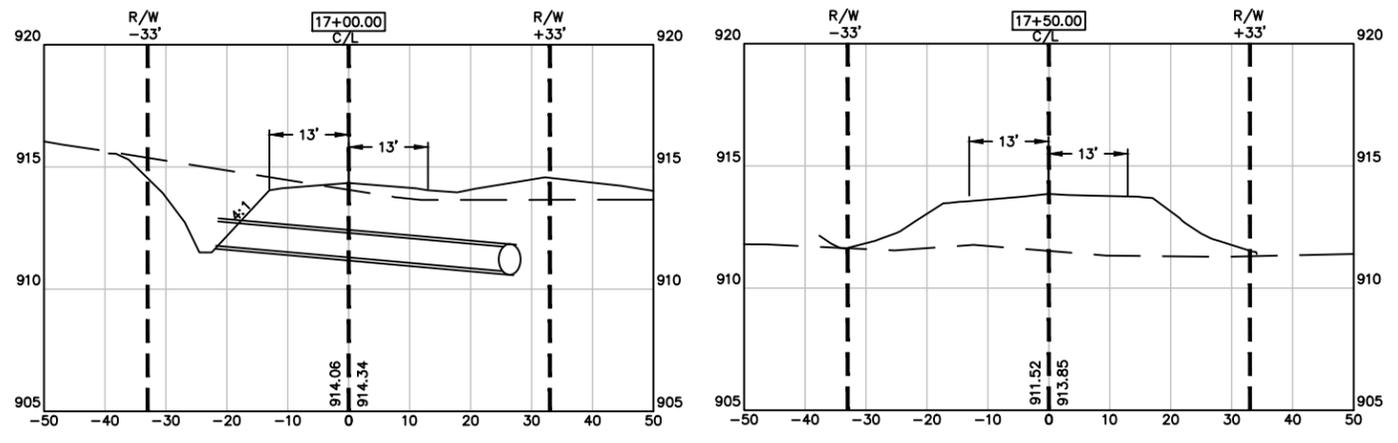


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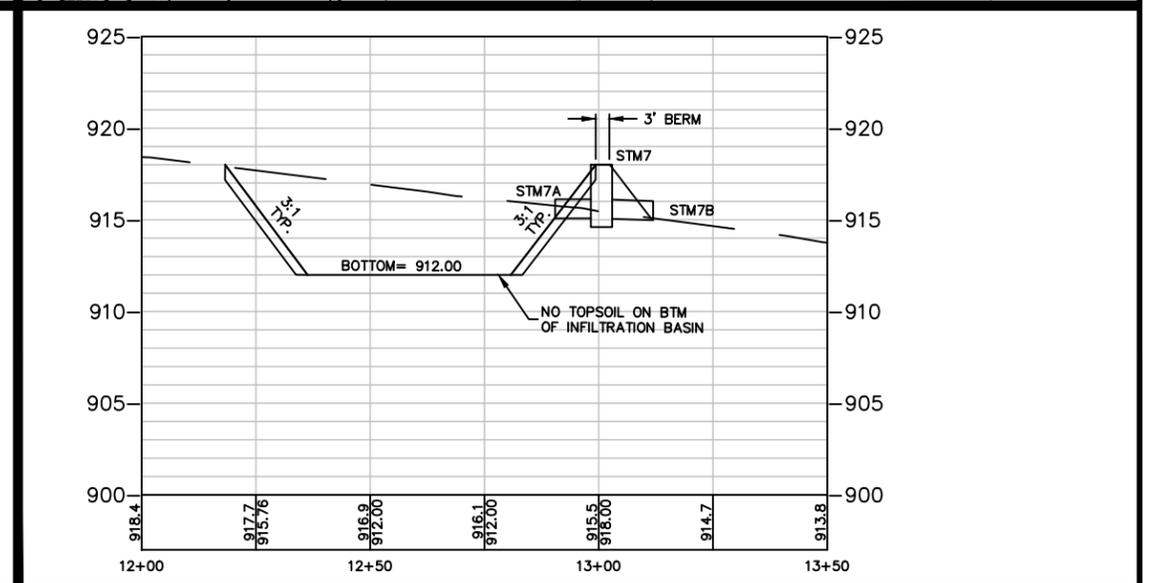
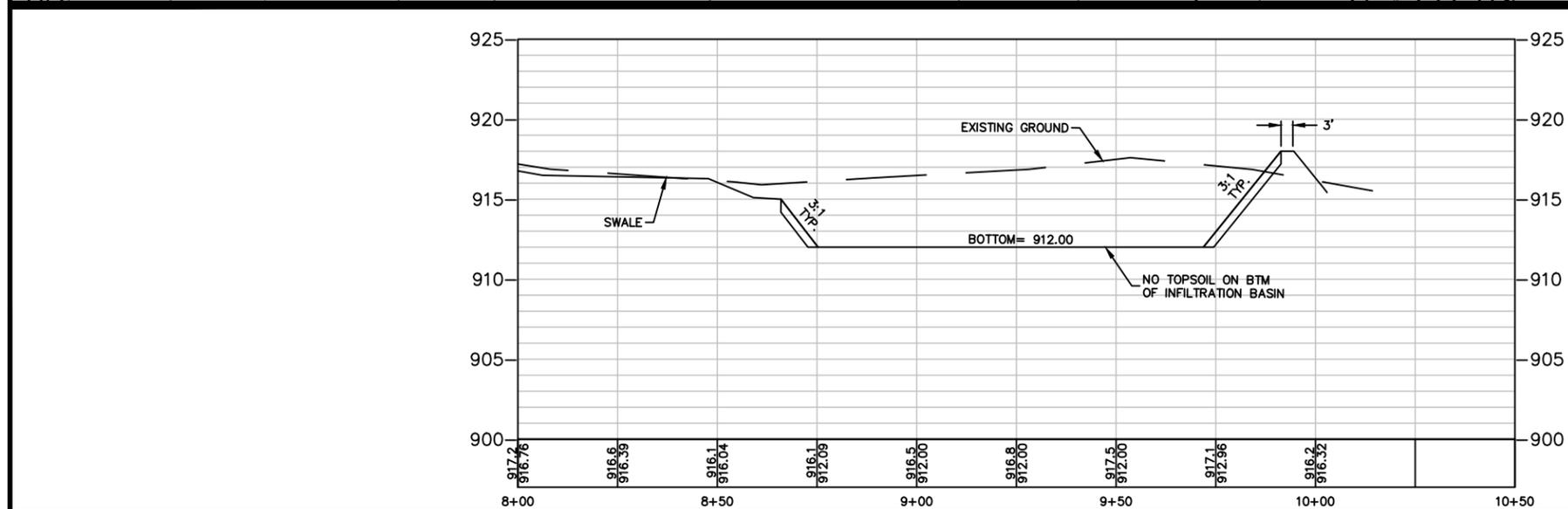
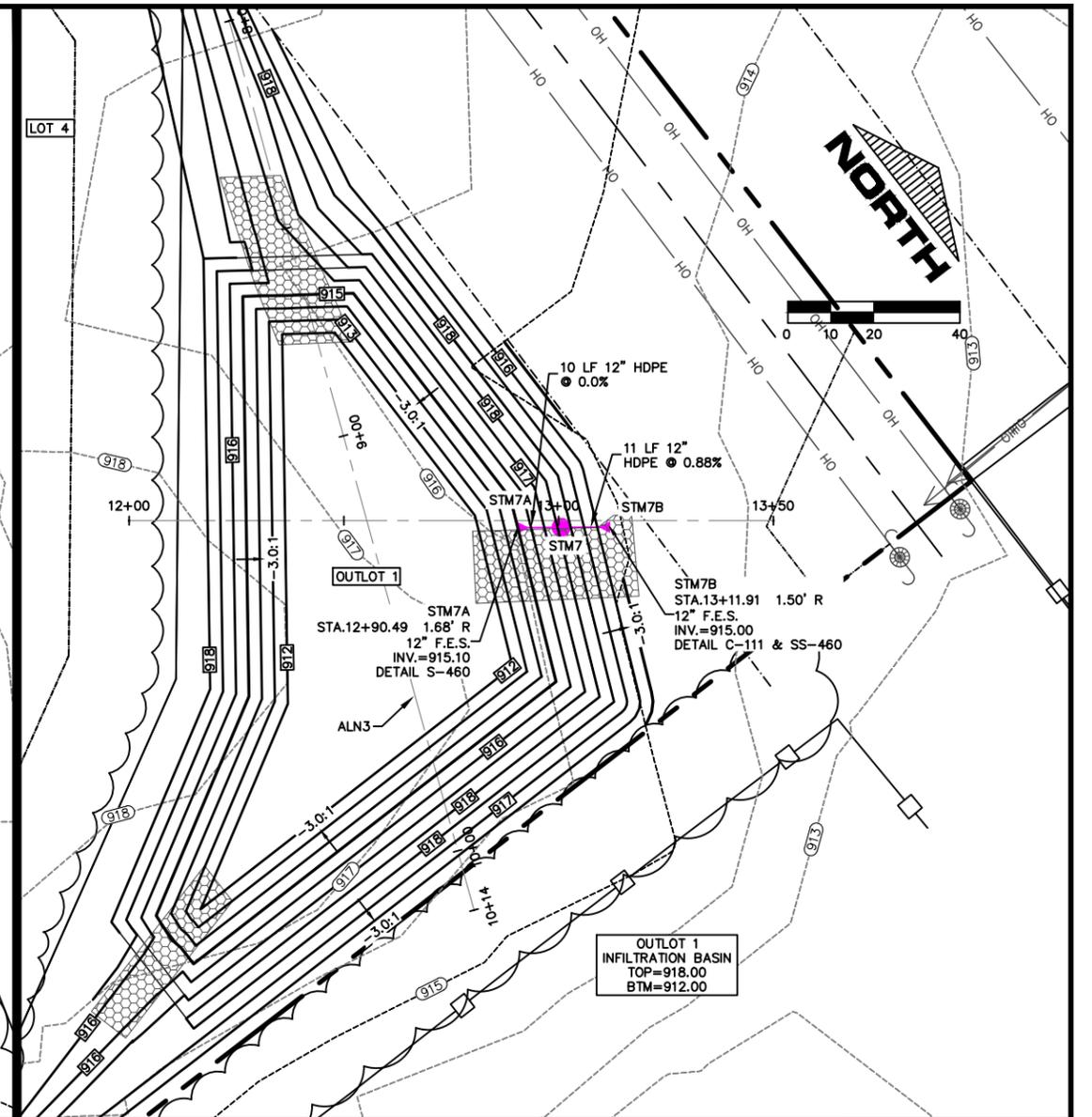
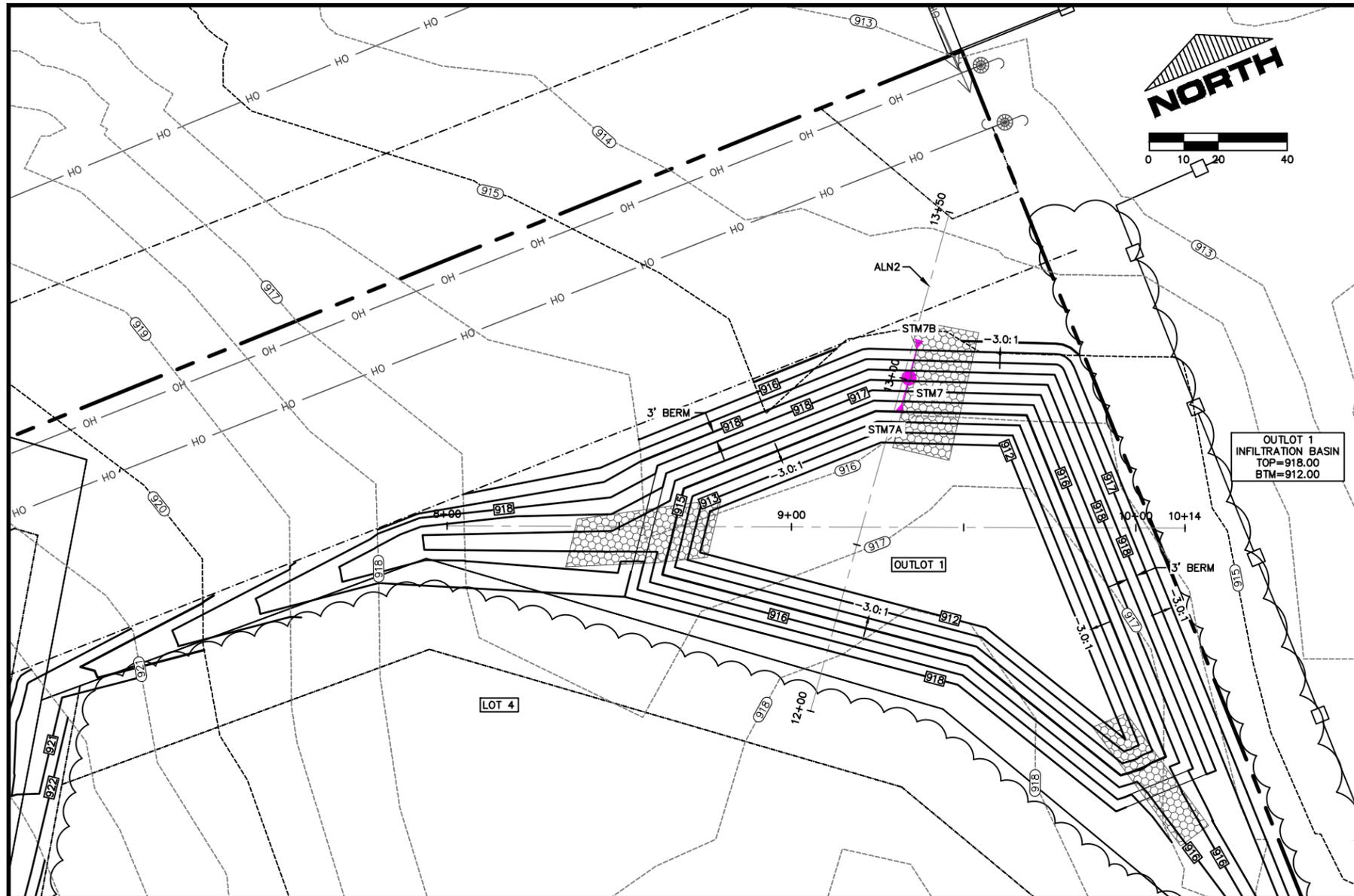
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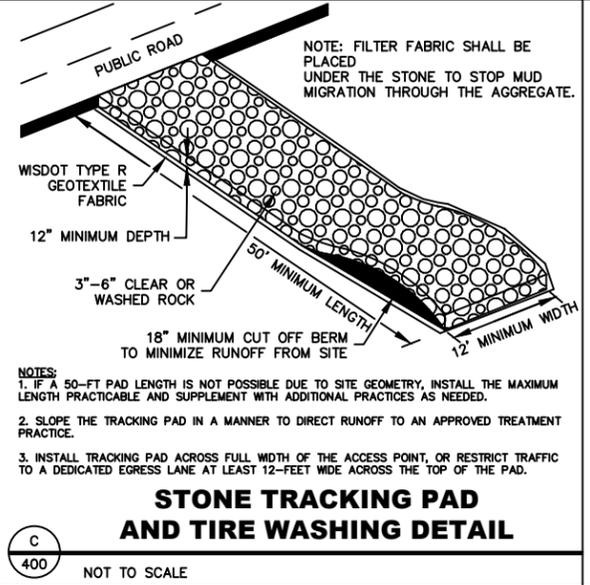
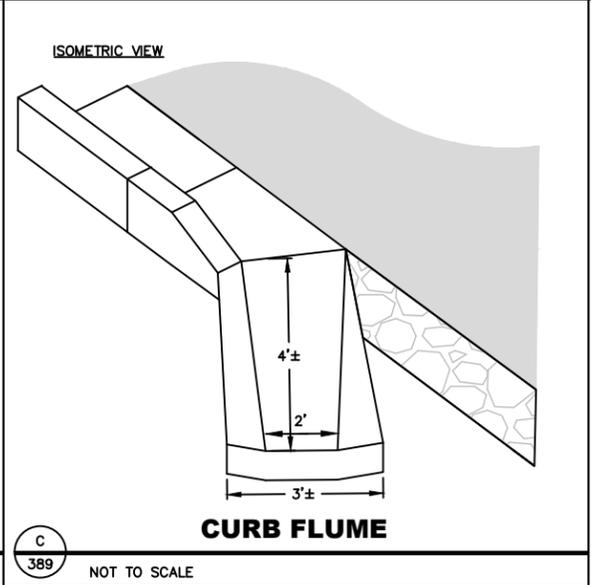
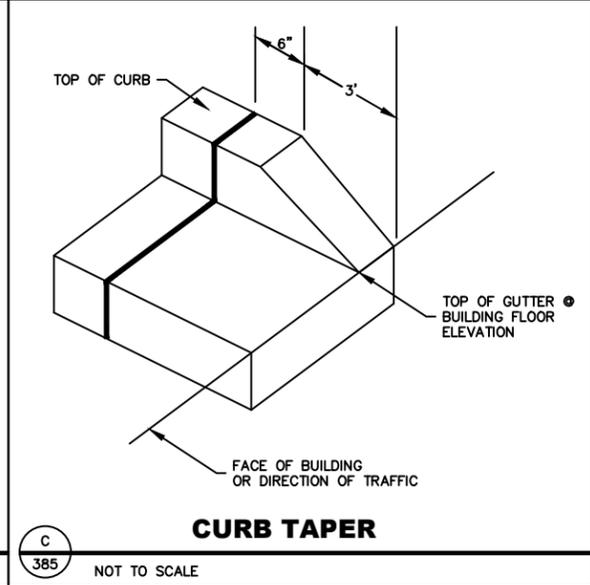
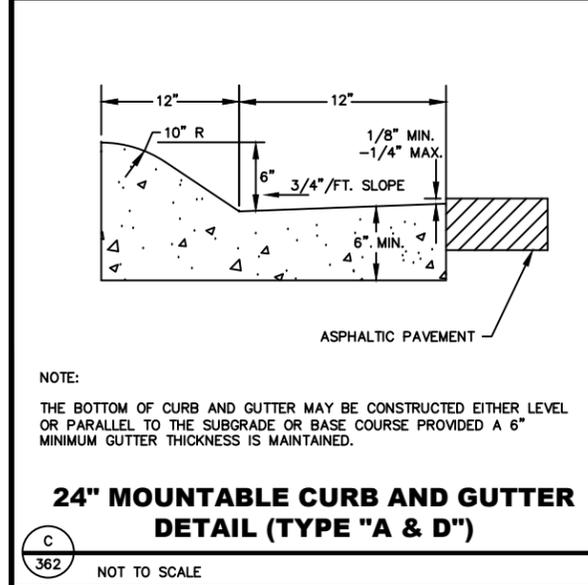
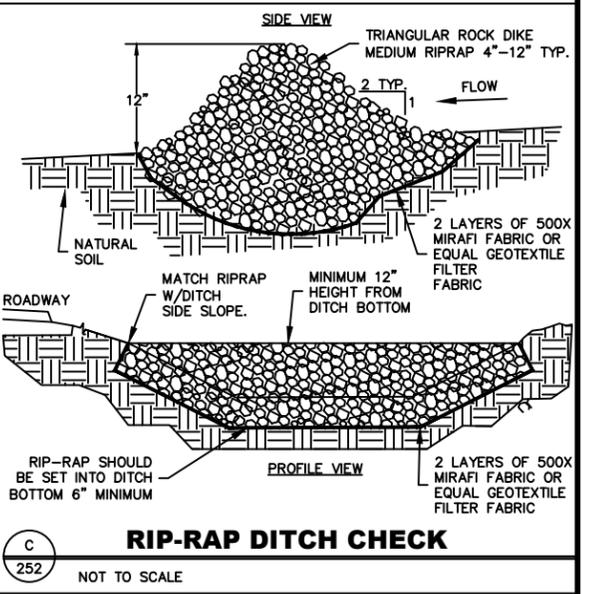
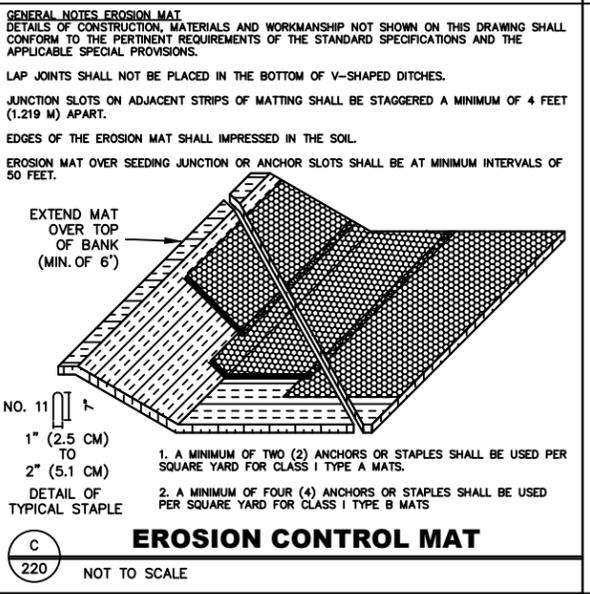
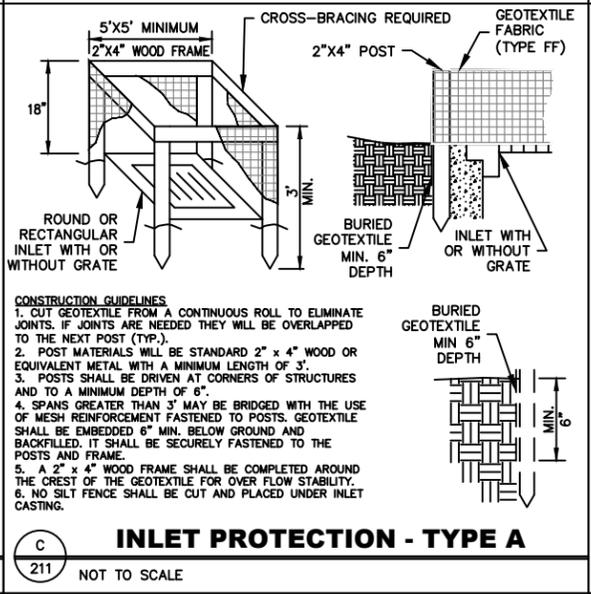
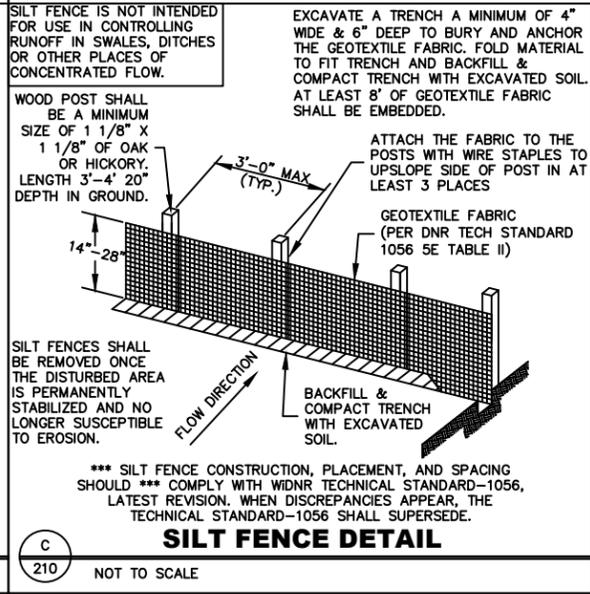
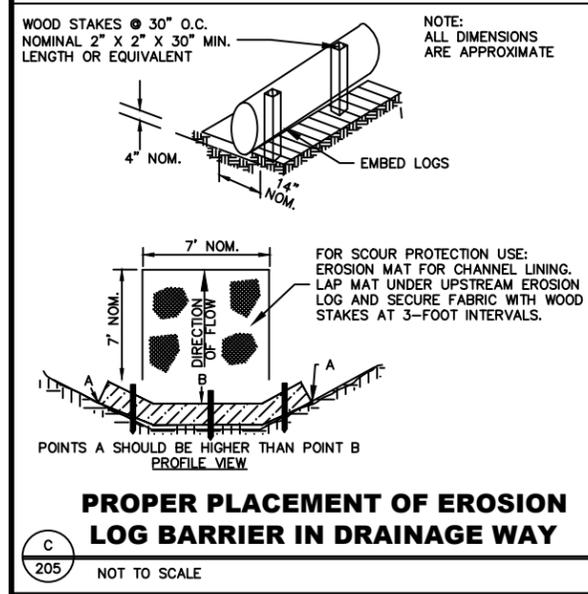
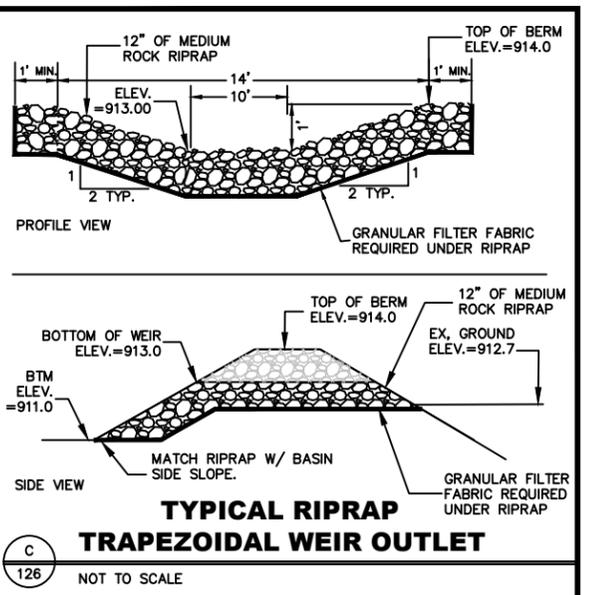
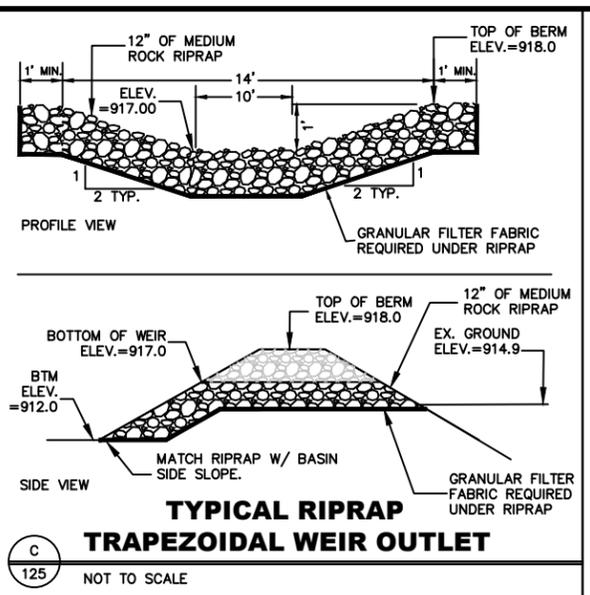
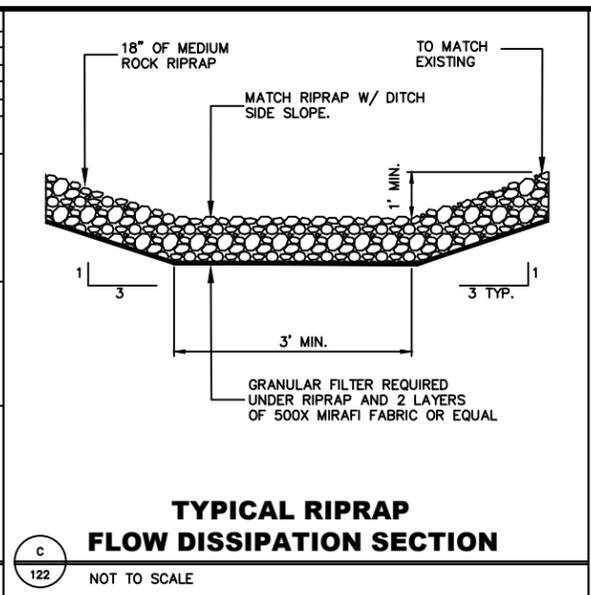
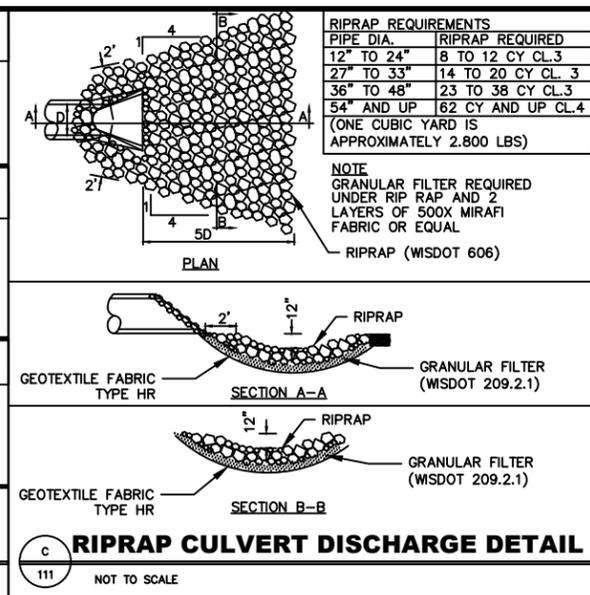
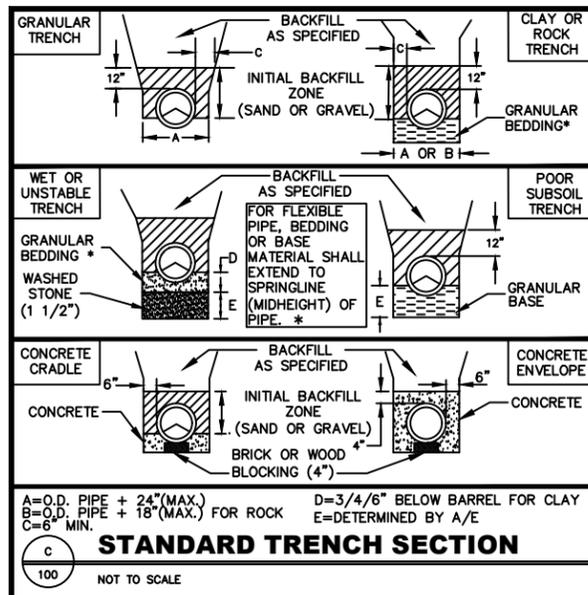
ALIGNMENT 2 & 3
 INFILTRATION BASIN GRADING & CROSS SECTION

HERITAGE ESTATES
 JTH ENTERPRISES, LLC
 5972 HEATHERMOOR LN,
 EAU CLAIRE, WI

DWG NAME
 24019 PG13
 POND

DATE
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14
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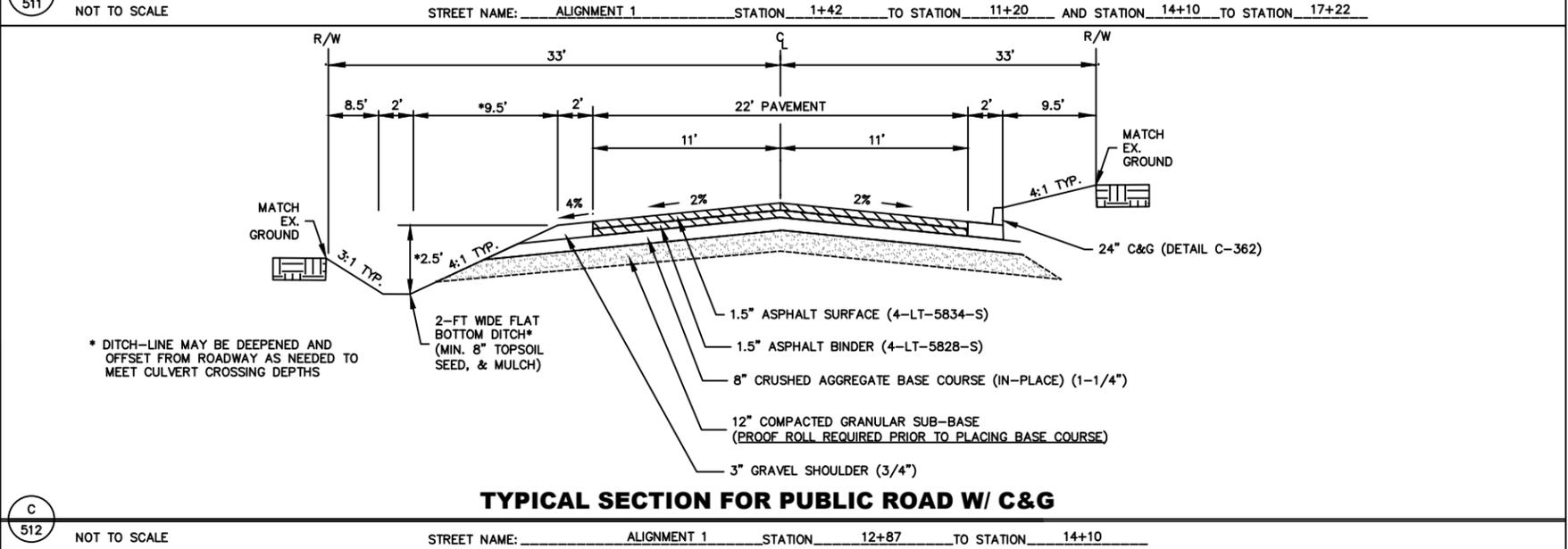
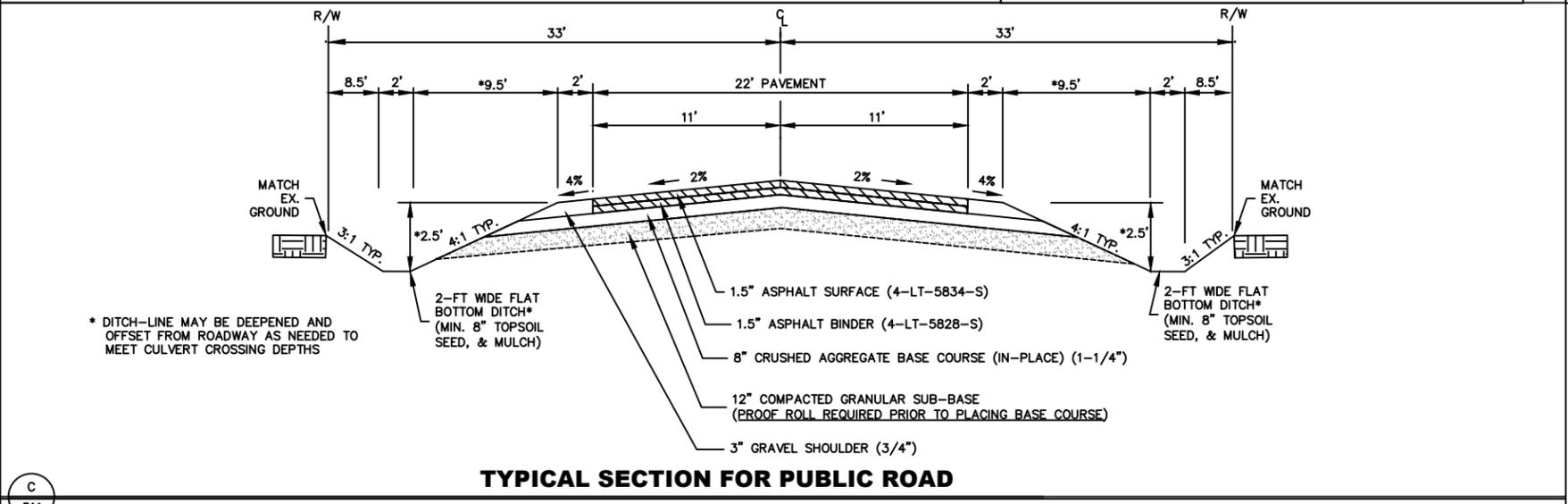
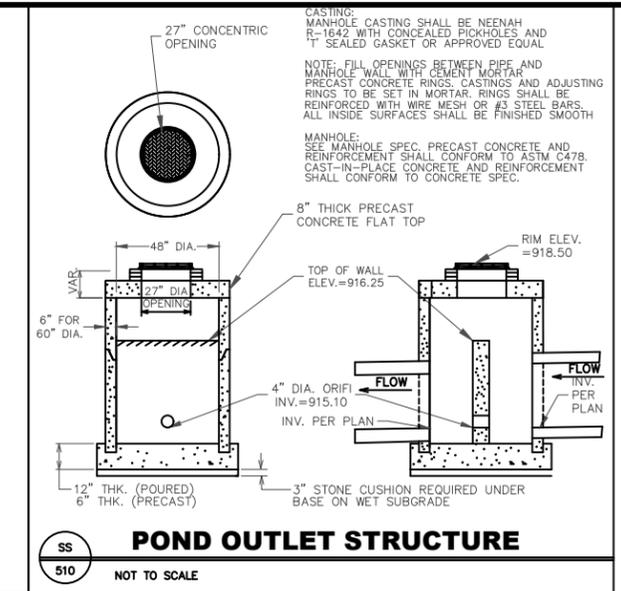
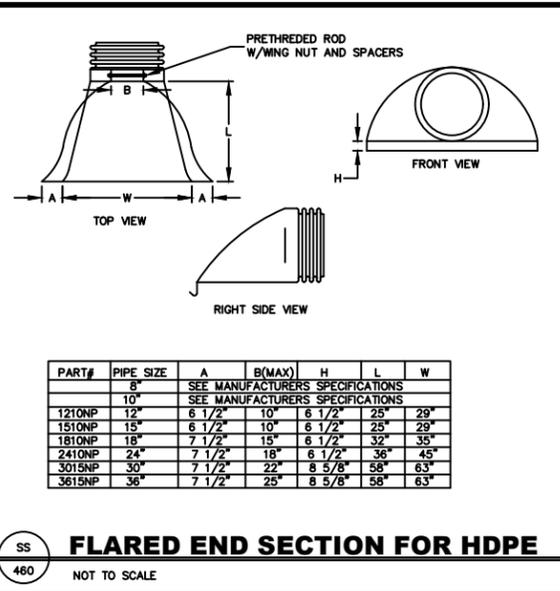
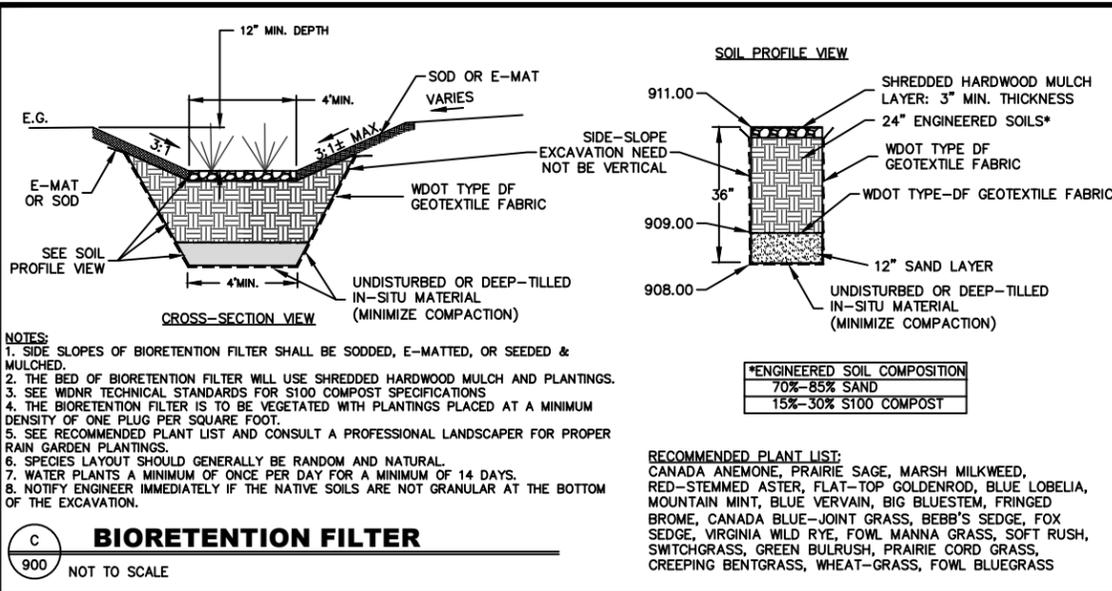
PROJ. NO. 24019

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EAU CLAIRE, WI 54701
PH: 715-552-0330
info@aec.engineering
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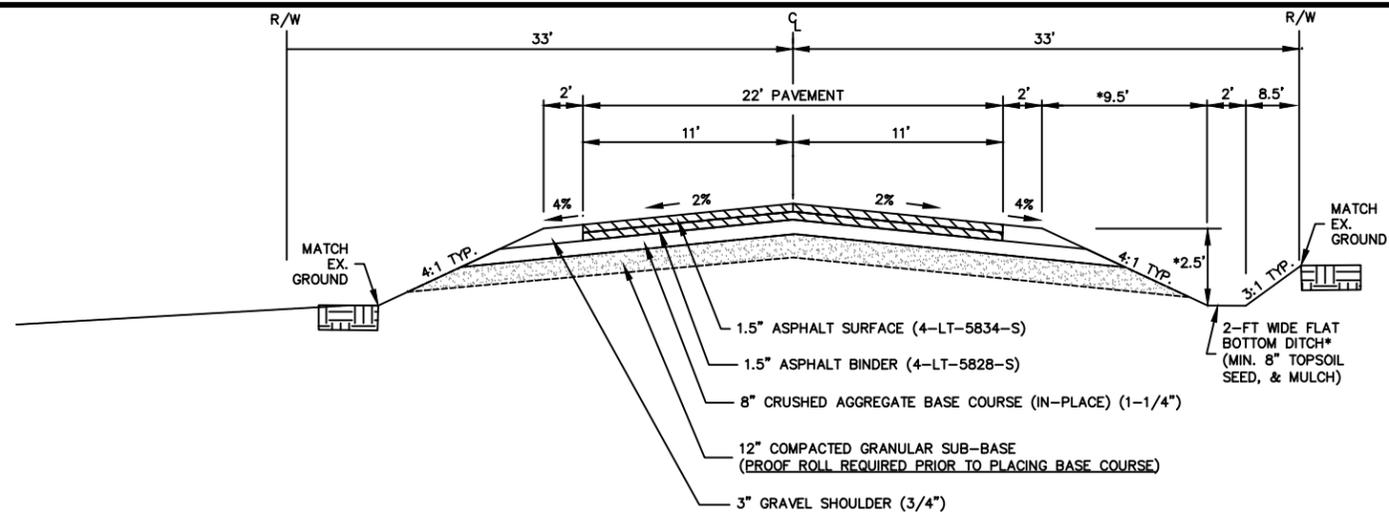
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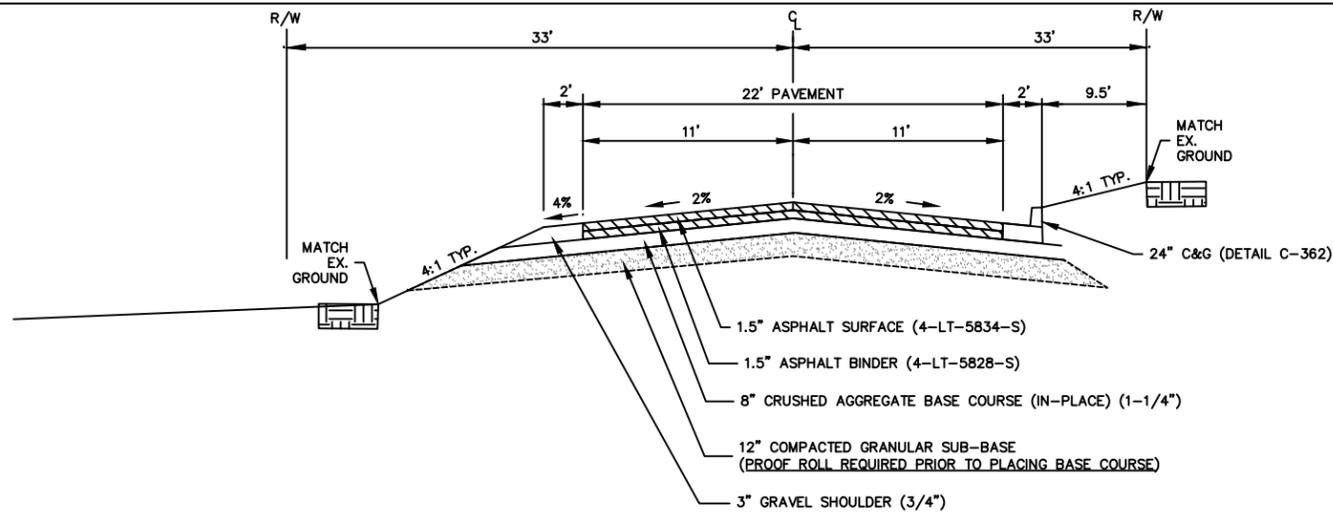
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 EAU CLAIRE, WI

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 DATE 07/2024
 Page 118 18



TYPICAL SECTION FOR PUBLIC ROAD

513 NOT TO SCALE STREET NAME: ALIGNMENT 1 STATION 8+00 TO STATION 11+20 AND STATION TO STATION



TYPICAL SECTION FOR PUBLIC ROAD W/ C&G

514 NOT TO SCALE STREET NAME: ALIGNMENT 1 STATION 11+20 TO STATION 12+87

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DATE 07/2024	18